



SECTION 6 RISK ASSESSMENT – ASSESSING VULNERABILITY

6.1 ASSESSING VULNERABILITY OVERVIEW

This Vulnerability Assessment Section provides a vulnerability summary and builds upon the information provided in the hazard profile section. This section summarizes the historic hazards and identifies community assets and development trends in Scott County, then assessing the potential impact and amount of damage that could be caused by each hazard event.

The vulnerability findings in this section result in an approximation of vulnerability. These estimates should be used to understand relative vulnerability from hazards and the potential losses that may be incurred, however, uncertainties are inherent in loss estimation methodology, arising from incomplete scientific knowledge concerning specific hazards and their effects on the environment, incomplete data, and from approximations and simplifications that are necessary to provide a meaningful analysis. Further, most data used in this assessment covers relatively short periods of records which increases the uncertainty of any statistically based analysis.

To complete the assessment, each participating entity provided the best available local data. The mitigation Committee then collected data from a variety of sources, including state and federal agencies.

Additional work will be done on an ongoing basis to enhance, and further improve the accuracy of the baseline information. It is expected that this vulnerability assessment will continue to be refined through future plan updates as new data and loss estimation methods or tools become available.

Two distinct methodologies were applied to assess the risk for Scott County. The first includes qualitative analysis that relies more on local knowledge and rational decision-making. This qualitative methodology was described in the hazards profile section. The second methodology, a quantitative analysis utilizing data from a detailed GIS-based approach using best available local data from Scott County. When combined with qualitative methodology the results are an assessment of potential hazard losses (in dollars). Both methodologies rely upon best available data and technology. The methodologies are combined to create a “hybrid” approach for assessing hazard vulnerability for Scott County that allows for some degree of quality control and assurance.

It should be noted that some of the quantities and values of structure in this section are best effort estimates as valid data is unavailable. These values will be adjusted during plan updates.

Multi-hazard Requirement §201.6(c)(2)(ii):
 [The risk assessment shall include a] description of the jurisdiction’s vulnerability to the hazards described in paragraph (c)(2)(i) of this section. This description shall include an overall summary of each hazard and its impact on the community.

A. Does the new or updated plan include an overall summary description of the jurisdiction’s vulnerability to each hazard?

B. Does the new or updated plan address the impact of each hazard on the jurisdiction?

CRS Step 5: Assess the Problem Credit is based on what is included in the assessment of vulnerability to the hazards identified. At a minimum the plan must include an overall summary of each hazard and its impact on the community



6.1.1 Hazard Event Disaster Declarations

Scott County has been included in a total of 5 federal disaster declarations from 1965 through 2008. All of these events did not necessarily occur within the boundaries of Scott County. The table below identifies those declarations and the economic relief provided.

Date	Declaration Number	Hazard Incident	Economic Relief Amount	Economic Relief Source
4/11/65	OEP188	Flooding	Unknown	FEMA
4/18/69	OEP255	Flooding	Unknown	FEMA
06/11/93	DR993	Tornadoes, Flooding	461,619	FEMA
4/8/97	DR-1175	Flooding	\$116,031	FEMA
05/16/2001	DR1370	Flooding	117,287	FEMA

6.1.2 Hazard Vulnerability Summary

The below table summarizes the historic hazards that have occurred in Scott County. It should be noted that the data is not completely accurate, as much information was not captured especially in the early years. Flooding includes Dam/Levee failure, riverine and storm water. Note: High Winds include tornadoes, thunderstorms and windstorms.

Hazard	Incidents	Years	Avg./yr	Fatalities	Injuries	Assets	Asset Loss
Drought	3	21	7	0	0	0	\$0
Earthquake	3	149	50	0	0	0	\$0
Extreme Temperatures	16	15	1.1	4	1	1	\$1,000,000
Flooding	23	56	.5	4	1	0	\$9,591,740
Hail	4	21	.25	0	0	0	\$10,500,000
High Winds	132	59	2.2	0	6	0	\$196,930,624
Ice/Snow	27	15	1.7	0	0	0	0
Landslides/Mudslides	0	0	0	0	0	0	0
Land Subsidence	0	0	0	0	0	0	0
Lightning	7	13	1.9	1	0	0	\$916,000
Wild Fire	5	8	.7	0	2	0	\$50,000
Hazardous Materials	765	19	40	0	1	0	0
Illegal Meth Labs	20	10	2	0	12	0	\$74,500
Pandemics/Vectors	18	91	.2	6	98	0	0
Terrorism	29	9	3.1	0	0	0	\$174,000
Urban Fires	32	10	3.2	3	6	32	\$8,813,000
Totals	1084	496		18	127	33	\$228,049,864.00

The Scott County Hazard Mitigation Committee designed a Qualitative Methodology hazard rating that relies on historical and anecdotal data, community input, and professional judgment regarding historic and projected future hazard event. The qualitative assessment is built around



varying degrees and weights of risk values as assigned by the Mitigation Steering Committee. The hazard vulnerability assessment for Scott County uses a scoring system based on the below table.

Category	0	1	2	3	4	5
Fatalities and Injuries	0 fatalities or Injuries	<3 fatalities or injuries	4 to 14 fatalities and injuries	15 to 49 fatalities or Injuries	50 to 99 fatalities or Injuries	>100 fatalities or Injuries
Economic Loss	No Loss	Less than 500K cost	From 500K to 2.9Mil cost	From 3 Mil to 7.9 Mil cost	From 8Mil to 19.9Mil cost	More than \$20Mil cost
Area Impacted	Local no evacuation	Local minimal evacuation	Local some evacuation	1 mile some evacuation	1 mile high evacuation	>3 mile and evacuation
Probability of Occurrence	Once every 50+ years	Once every 11 to 49 years	Once every 4 to 10 years	Once every 1 to 3 years	Between 1 and 3 times a year	More than 3 times a year
Repetitive Loss	>50 years	26 to 49 years	11 to 25 years	4 to 10 years	1 to 3 years	>1 per year

The Hazard Mitigation Committee developed a historic and future hazard vulnerability table using the risk table above by assigning a value (1 through 5). As can be seen from the below table high winds, flooding and urban fires received the highest vulnerability rating.

Hazard Event	Fatality and Injury	Economic Loss	Extent or Impact	Probability of Occurrence	Repetitive Loss	Vulnerability Score	Priority
Drought	0	2	0	2	3	7	13
Earthquake	0	0	0	0	0	0	14
Extreme Temperatures	2	2	0	4	3	11	7
Flooding (dam/levee failure, riverine, storm water)	2	4	3	4	4	17	2
Hail	0	4	0	2	3	9	12
High Winds (Tornadoes, thunderstorms, windstorms)	2	5	1	5	5	18	1
Ice/Snow	0	1	0	4	4	9	9
Landslides/Mudslides	0	0	0	0	0	0	15
Land Subsidence	0	0	0	0	0	0	16
Lightning	1	2	0	4	2	9	11
Wild Fire	1	1	0	4	4	10	8
Hazardous Materials	1	1	0	5	5	12	4
Illegal Meth Labs	2	1	0	4	5	12	5
Pandemics/Vectors	5	0	1	2	1	9	10
Terrorism	0	0	1	5	5	11	6
Urban Fires	2	4	0	5	5	16	3



The future vulnerability table uses the same hazard-rating table above but assumes a single worst-case event and future increases in population and structures. As can be seen by the ratings high winds and floods would impact the county the most. However it is possible that a hazardous materials event could be very devastating.

Table 6.5 Scott County Future Hazard Profile Vulnerability Assessment							
Hazard Event	Fatality and Injury	Economic Loss	Extent or Impact	Probability of Occurrence	Repetitive Loss	Vulnerability Score	Priority
High Winds (Tornadoes, thunderstorms, windstorms)	4	5	0	5	5	19	1
Flooding (dam/levee failure, riverine, storm water)	2	4	1	4	4	15	2
Hazardous Materials	3	2	4	2	2	13	3
Urban Fires	2	3	1	3	3	12	4
Ice/Snow	1	2	1	4	3	11	5
Wild Fire	2	2	1	3	3	10	6
Extreme Temperatures	2	2	1	2	2	9	7
Lightning	1	2	0	3	2	8	8
Terrorism	3	3	0	1	1	8	9
Drought	0	3	0	1	2	7	10
Illegal Meth Labs	1	1	0	3	2	7	11
Hail	1	1	0	2	2	6	12
Pandemics/Vectors	4	2	0	0	0	6	13
Landslides/Mudslides	0	1	0	2	2	5	14
Land Subsidence	0	1	0	2	1	4	15
Earthquake	1	2	0	0	0	3	16

6.2 VULNERABILITY: REPETITIVE LOSS PROPERTIES

The NFIP tracks properties that file multiple claims of a certain value over a specific period of time, termed Repetitive Loss Properties (RLP) and Severe Repetitive Loss Properties (SRL). A RLP is an NFIP-insured property that, since 1978 and regardless of any changes in ownership during that period, has experienced any of the following:

- Four or more paid losses in excess of \$1,000
- Two paid losses in excess of \$1,000 within any rolling 10-year period
- Three or more paid losses that equal or exceed the current value of the insured property.

Repetitive loss properties make up only about 2% of the flood insurance policies currently in force

nationally, yet they account for 40% of the flood insurance claim payments. The RLPs are the biggest draw on the Fund. Analysts believe that by reducing the number of RLPs, flood insurance claims will be reduced. This will both diminish the pressure to raise flood insurance rates and stabilize the finances of the NFIP. RLPs exist in all 50 states, however, five states (Louisiana, Texas, Florida, North Carolina, and New Jersey) accounted for 63% of all repetitive loss payments from 1978 - 2004. The majority of existing flood-prone structures are residences (not vacation or income-producing homes). These properties have been repaired multiple times with subsidized flood insurance claim dollars. FEMA estimates that 90% of RLPs were built prior to 1975. These older pre-FIRM buildings were built before flood hazard risks were fully known and not constructed to resist floodwaters. Most owners of RLPs pay subsidized rates for flood insurance. FEMA has pursued a variety of insurance and mitigation strategies to stem the costs to the NFIP associated with these properties.

The SRL program was created pursuant to Section 1361A of the National Flood Insurance Act of 1968 (42 U.S.C. 4102A), as amended by the Flood Insurance Reform Act of 2004 (Public Law 108-264). The SRL program provides funding to reduce or eliminate the long-term risk of flood damage to severe repetitive loss residential structures insured under the NFIP. An SRL property is defined as a residential property that is covered under an NFIP flood insurance policy and:

- a. Has at least four NFIP claim payments (including building and contents) over \$5,000 each, and the cumulative amount of such claims payments exceeds \$20,000; or
- b. For which at least two separate claims payments have been made with the cumulative amount of the building portion of such claims exceeding the market value of the building.

For both (a) and (b) above, at least two of the referenced claims must have occurred within any ten-year period, and must be greater than 10 days apart.

The long-term goal of the SRL program is to reduce or eliminate NFIP claims. The SRL program will fund mitigation projects, which will result in the greatest savings to the National Flood Insurance Fund (NFIP) in the shortest period of time, based on a Benefit-Cost Ratio (BCR) using a FEMA approved methodology to conduct the Benefit-Cost Analysis (BCA).

Multi-hazard Requirement §201.6(c)(2)(ii): [The risk assessment shall include a] description of the jurisdiction's vulnerability to the hazards described in paragraph (c)(2)(i) of this section. This description shall include an overall summary of each hazard and its impact on the community.

A. Does the new or updated plan describe vulnerability in terms of the types and numbers of repetitive loss properties located in the identified hazard areas?

CRS Step 5: Assess the Problem The risk assessment must also address National Flood Insurance Program (NFIP) insured structures that have been repetitively flooded. The community must also address all properties identified in the repetitive loss areas as defined by the community.



A local mitigation plan must include a section in its risk assessment that describes the source of repetitive flooding problems and identifies the number and type (residential, commercial or governmental) of repetitive loss properties in the jurisdiction, including the extent of flood depth and damage potential. The tables below identify Repetitive Loss and Severe Repetitive Loss Properties in Scott County. As can be seen in the below table there is some data missing as to repetitive properties. This is believed to be data from floods occurring prior to 1997.

Table 6.6 NFIP RLP/SRL Properties

Flood Location	Number	Property Type	Total Losses	Insured	Flood Depth	Potential Risk H/M/L	Flood Type Out of Banks Storm Water Maintenance Low Lying
Shakopee	1	Commercial	2	No	Unk	High	Out of Banks
Shakopee	1	Commercial	2	No	Unk	High	Out of Banks
Scott Co	1	Residential	2	No	Unk	High	Out of Banks
Prior Lake	1	Residential	2	No	Unk	High	Out of Banks
Prior Lake	1	Residential	2	No	Unk	High	Out of Banks
Shakopee	1	Commercial	3	Yes	Unk	High	Out of Banks

Table 6.7 Total NFIP Losses by Jurisdiction

Community Name Flood Location	Total Losses	Closed Losses	Open Losses	CWOP Losses	Total Payments
BELLE PLAINE, CITY OF	1	1	0	0	7,408.44
JORDAN, CITY OF	7	3	0	4.00	7,931.39
PRIOR LAKE, CITY OF	46	34	0	12	241,262.07
SCOTT COUNTY*	2	2	0	0	13,295.82
SHAKOPEE, CITY OF	9	7	0	2	290,572.99
Total	65	47	0	18	560,470.71

6.2.1 Future Structure Vulnerability

The hazard narratives in the hazard analysis section describe the vulnerability of current structures in existing flood hazards in terms of impact, extent and future occurrences of flooding.

All the above structures will be considered for elevation above the flood elevation or have the structure area removed from floodplain. Any time development occurs near a floodplain, the cities ensure that the structures are at least two feet above the 100-year flood elevation. Structures proposed to be built in floodplain areas must go through the LOMR process with FEMA, so that they can be removed from floodplain status. The cities will not allow a structure to be built in a floodplain below the Base Flood Elevation.



6.3 VULNERABILITY: IDENTIFYING STRUCTURES

According to FEMA, critical facilities and infrastructure are those systems “whose incapacity or destruction would have a debilitating impact on the defense or economic security of that community.” These systems include the following eight general categories: telecommunications infrastructure; electrical power systems; gas and oil facilities; banking and finance institutions; transportation networks; water supply systems; government services; and emergency services.

Participating municipalities provided the critical facilities and or assets within their communities. The Mitigation Committee then combined the local jurisdiction information with the county information to identify all critical assets and structures. The structure value information was gathered from tax records and other sources. The content value was estimated using the structure value as a basis and the following average percentages

- o Residential=30%
- o Government=40%
- o Commercial/Industrial=50%

For security purposes the detailed tables are located in the Annex. An example is detailed below.

Requirement §201.6(c)(2)(ii)(A): The plan should describe vulnerability in terms of the types and numbers of existing and future buildings, infrastructure, and critical facilities located in the identified hazard area

A. Does the new or updated plan describe vulnerability in terms of the types and numbers of existing buildings, infrastructure, and critical facilities located in the identified hazard areas?

B. Does the new or updated plan describe vulnerability in terms of the types and numbers of future buildings, infrastructure, and critical facilities located in the identified hazard areas?

CRS Step 4: Step 4: Assess the Hazard & Step 5: Assess the Problem:

For multi-jurisdictional plans, the risk assessment must assess each jurisdiction’s risks where they vary from the risks facing the entire planning area.

CRITICAL FACILITIES TABLE ENTRIES	
Hours Open	24 7, 8 5 etc
In Hazard	F = facility is within a 100/500 year floodplain or subject to riverine, storm water and/or dam or levee failure flooding H = facility is within 1 mile of a hazardous materials/nuclear facility/pipeline R = facility is within 1 mi. of a hazardous materials route (Roadway/Railroad). T = facility can be considered a terrorist target W = facility is in close proximity to a potential Wildland fire area
Asset Type	C = Commercial/Industrial G = Government E = Economic: The asset or facility generates jurisdictional revenue beyond taxes H = Historic: The asset or Structure a historic entity or have historic content S = The facility houses a special needs population i.e. patients children, elderly, etc.
Emergency Gen.	Y/N = Does the facility have an emergency generator
Construction	Indicate the primary building material-B=brick or block, C= concrete, M= metal, W= wood.
Flood Elevation	Elevation above flood stage. Only needed if in Flood plain
Structure Value	The structure value is determined from Insurance or property tax records
Content Value	If content value is unknown use common uplift factors 30% for residences, 40% for government and 50% for commercial/Industrial.
Table 1.1 Jurisdiction Critical Facilities (Replace “jurisdiction” with city or town name)	



CRITICAL FACILITIES TABLE ENTRIES												
Education Fire Service Law Enforcement Medical/Nursing Child Care Utility, etc Facility Name and Type	Street City/Town Address	Time Open	In Hazard?	Asset Type	Emergency Generator	Construction B/C/M/W	Floors	Elevation	People Capacity	Building Sq. Feet	Structure Value	Content Value
County/City Facilities		8/4										
Nursing/Daycare												
Education facilities												
Medical facilities, etc												

The table below is a summary table that is extracted from the detailed tables in the supporting Annex and specifically lists the potentially at-risk facilities based on the GIS analysis of Scott County’s critical facilities database in combination with the databases of hazardous material facilities and Federal and State-owned facilities. There are some extrapolated and estimated values in the vulnerability tables to account for growth since 2000 census and because of incomplete valuations especially for properties exempt from property tax.

Table 6.8 Participating Jurisdictions Critical Facility Summary

Jurisdiction	Total Facilities	Total Sq. Footage	Total Structure Value	Total Content Value	Total Value
Scott County	13	1,483,187	\$161,328,017	\$36,559,705	\$199,370,922.00
Belle Plaine	20	460,007	\$81,440,972	\$23,226,692	\$105,127,691
Belle Plaine Township	1	1,196	\$202,443	\$12,000	\$215,640.00
Blakeley Township	1	1,000	\$500,000	\$20,000	\$520,000.00
Cedar Lake Township	2	8,000	\$1,575,000	\$400,000	\$1,983,002.00
Credit River Township	1	1,000	\$59,000	\$10,000	\$70,001.00
Elko-New Market	7	935,200	\$5,935,000	\$3,132,000	\$10,002,207.00
Helena Township	3	13000	1,115,0000	424,0000	\$15,403,003.00
Jackson Township	2	4,402	\$572,100	\$135,000	\$711,504.00
Jordan	16	325,276	\$90,375,724	\$31,270,654	\$121,971,670.00
Louisville Township	4	10,006,000	\$11,400,000	\$2,425,000	\$23,831,004.00
M Sioux Tribal Area	13	93,000	43,600,0000	18,450,0000	620,593,0130
New Market Township	4	1,012,35	\$2,663,000	\$880,000	\$3,544,051.00
New Prague	26	691,603	\$113,403,107	\$4,900,000	\$118,994,736.00
Prior Lake	28	1,073,290	\$162,894,270	\$55,028,576	\$218,996,164.00
St Lawrence Township	3	21500	\$198,500	\$34,000	\$254,003.00
Sand Creek Township	3	1,040,397	\$3,050,000	\$1,020,000	\$5,110,400.00
Savage	24	955,015	\$71,525,000	\$37,310,000	\$109,790,039.00
Shakopee	33	1,865,769	\$302,906,300	137,623,110	\$442,395,212.00
Spring Lake Township	1	5,031	\$1,200,000	\$300,000	\$1,505,032.00
Totals	205	18,984,920	\$1,458,078,433.00	\$523,026,737.00	\$7,585,947,412.00



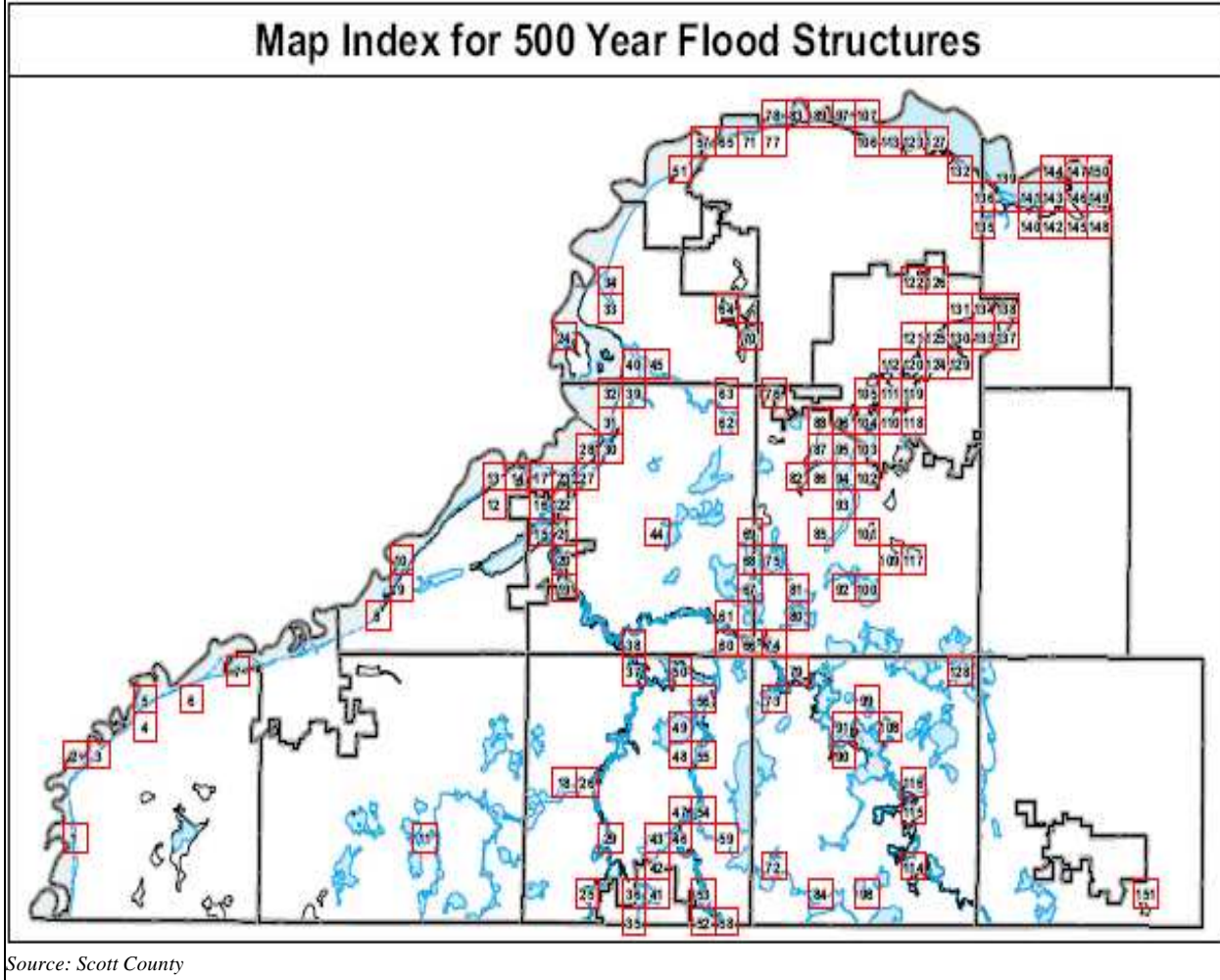
6.3.1 Asset Inventory For Flooding and High Winds Hazards

Current and future population and structures are identified and calculated within the defined flood area. The table below identifies the estimated potential total losses, for all of Scott County that may occur from a 500-year flood event

Table 6.9 Scott County Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	106,429		5,831		5.48%	
Residential	36,155	8,719,381,907	1,192	216,415,400	3.30%	2.48%
Commercial/Ind	2,631	1,101,908,900	204	168,987,800	7.75%	15.34%
Government/NP	149	809,965,455	34	62,615,862	22.82%	7.73%
Total	38,935	\$10,631,256,262	1,430	\$448,019,062	3.67%	4.21%
Future Inventory	10 years					
Population	138357		6,997		5.06%	
Residential	47002	\$12,207,134,670	1,311	\$302,981,560	2.79%	2.48%
Commercial/Ind	3157	\$1,542,672,460	214	\$236,582,920	6.78%	15.34%
Government/NP	179	\$1,133,951,637	34	\$87,662,207	19.02%	7.73%
Total	50338	\$14,883,758,767	1,559	\$627,226,687	3.10%	4.21%

Flooding has an identified geographic location (500 year flood plan map) for Scott County illustrated below.

Figure 6.1 Scott County Flood Structure Map



For High Wind events where a specific geographical location cannot be identified hypothetical locations are identified. For a High Wind event, an F4 tornado 300 yards wide and 1 mile long was predicted with the center point being the courthouse/administration facility of a jurisdiction.

Below is the City of Belle Plaine maps that identify current and estimated future population and current and estimated future structures in individual jurisdictions for Flooding and High Winds. Because of size constraints the maps for the remainder Scott County and its jurisdictions are located in the Supporting Annex. They are also used in the vulnerability loss calculations. The tables that identify estimated future populations and structure quantities and values are located below following the maps.

Figure 6.2 City of Belle Plaine Flood Hazard Map

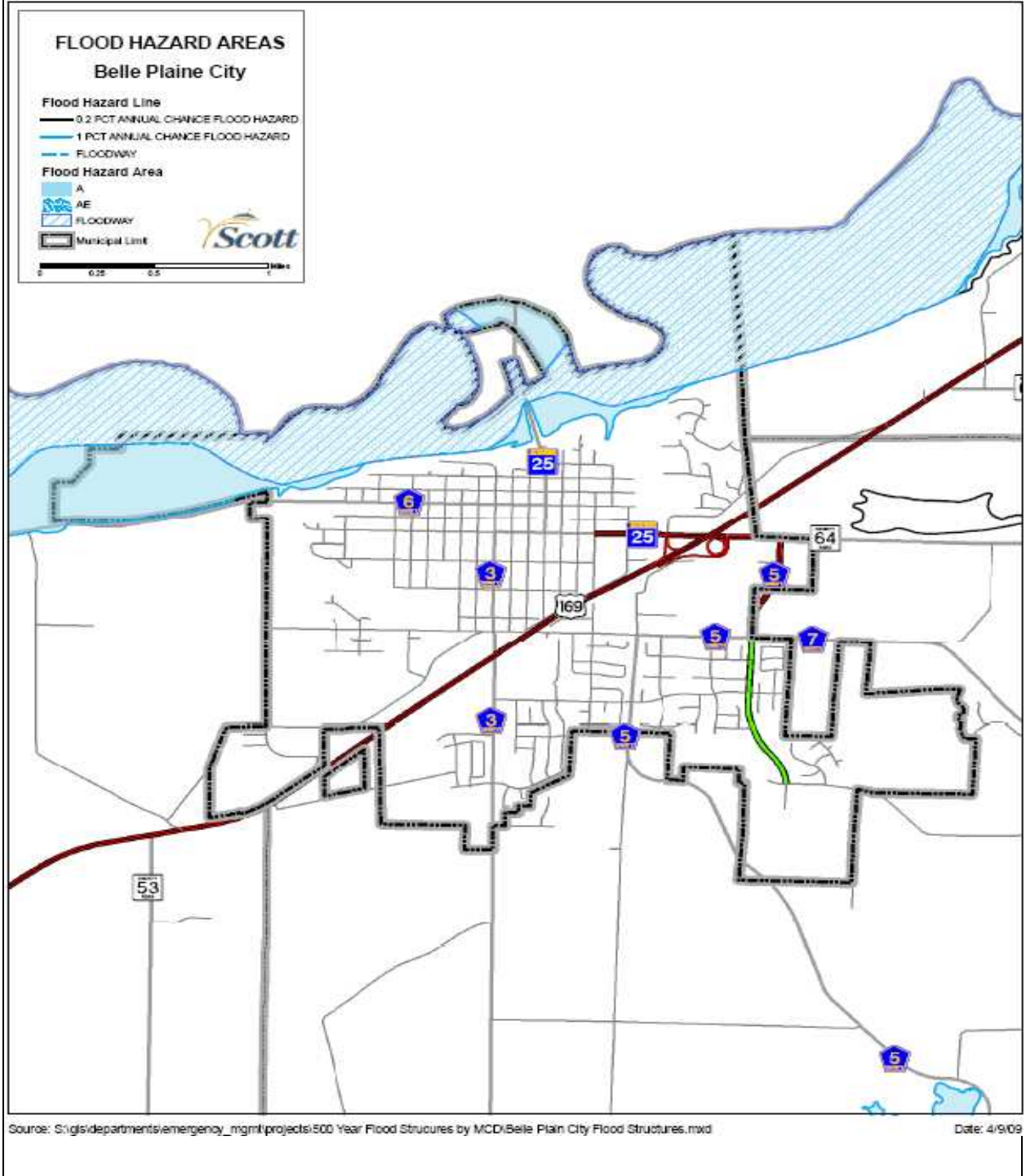


Figure 6.3 City of Belle Plaine High Wind Hazard Map

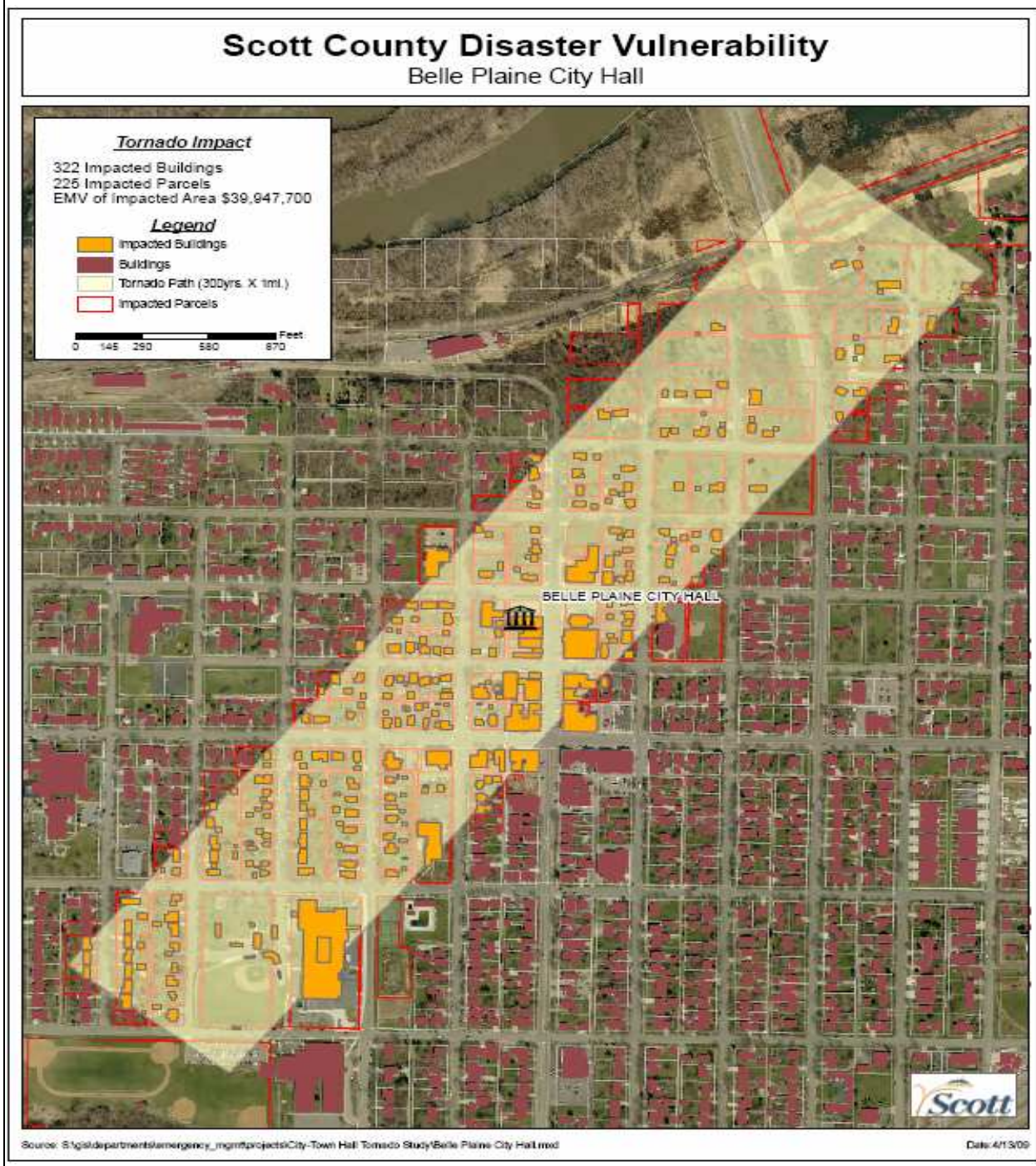




Table 6.10 City of Belle Plaine Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,168		137		3.29%	
Residential	1,696	317,388,900	33	\$7,260,000	1.95%	2.29%
Commercial/Ind	99	\$33,097,900	11	\$4,400,000	11.11%	13.29%
Government/NP	17	\$78,991,272	7	\$24,920,262	41.18%	31.55%
Total	1,812	\$429,478,072	51	\$36,580,262	2.81%	8.52%
Future Inventory 10 years						
Population	5418		164		3.03%	
Residential	2205	\$444,344,460	36	\$10,164,000	1.65%	2.29%
Commercial/Ind	119	\$46,337,060	12	\$6,160,000	9.72%	13.29%
Government/NP	20	\$110,587,781	7	\$34,888,367	34.31%	31.55%
Total	2344	\$601,269,301	55	\$51,212,367	2.34%	8.52%
Belle Plaine Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,168		790		18.95%	
Residential	1,696	317,388,900	289	\$25,349,500	17.04%	7.99%
Commercial/Ind	99	33,097,900	28	\$7,418,700	28.28%	22.41%
Government/NP	17	78,991,272	5	\$7,179,500	29.41%	9.09%
Total	1,812	\$429,478,072	322	\$39,947,700	17.77%	9.30%
Future Inventory 10 years						
Population	5418		948		17.50%	
Residential	2205	\$444,344,460	347	\$35,489,300	15.73%	7.99%
Commercial/Ind	119	\$46,337,060	32	\$10,386,180	27.10%	22.41%
Government/NP	20	\$110,587,781	6	\$10,051,300	28.19%	9.09%
Total	2344	\$601,269,301	385	\$55,926,780	16.41%	9.30%



Table 6.11 Belle Plaine Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	887		5		0.56%	
Residential	267	31,227,270	2	\$223,600	0.75%	0.72%
Commercial/Ind	3	\$789,000	0	\$0	0.00%	0.00%
Government/NP	1	\$202,443	0	\$0	0.00%	0.00%
Total	271	\$32,218,713	2	\$223,600	0.74%	0.69%
Future Inventory 10 years						
Population	1153		6		0.52%	
Residential	347	\$43,718,178	2	\$313,040	0.63%	0.72%
Commercial/Ind	4	\$1,104,600	0	\$0	0.00%	0.00%
Government/NP	1	\$283,420	0	\$0	0.00%	0.00%
Total	352	\$45,106,198	2	\$313,040	0.63%	0.69%
Belle Plaine Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	887		22		2.48%	
Residential	267	31,227,270	5	\$573,257	1.87%	1.84%
Commercial/Ind	3	789,000	0	\$0	0.00%	0.00%
Government/NP	1	202,443	1	\$202,443	100.00%	100.00%
Total	271	\$32,218,713	6	\$775,700	2.21%	2.41%
Future Inventory 10 years						
Population	1153		26		2.29%	
Residential	347	\$43,718,178	6	\$802,560	1.73%	1.84%
Commercial/Ind	4	\$1,104,600	0	\$0	0.00%	0.00%
Government/NP	1	\$283,420	1	\$283,420	95.83%	100.00%
Total	352	\$45,106,198	7	\$1,085,980	2.03%	2.41%



Table 6.12 Blakeley Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	546		31		5.68%	
Residential	166	13,668,000	7	\$462,900	4.22%	3.39%
Commercial/Ind	2	\$419,200	0	\$0	0.00%	0.00%
Government/NP	1	\$200,000	1	\$200,000	100.00%	100.00%
Total	169	\$14,287,200	8	\$662,900	4.73%	4.64%
Future Inventory 10 years						
Population	709		37		5.24%	
Residential	216	\$19,135,200	8	\$648,060	3.57%	3.39%
Commercial/Ind	2	\$586,880	0	\$0	0.00%	0.00%
Government/NP	1	\$280,000	1	\$280,000	100.00%	100.00%
Total	219	\$20,002,080	9	\$928,060	3.97%	4.64%
Blakeley Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	546		18		3.30%	
Residential	166	13,668,000	18	\$473,800	10.84%	3.47%
Commercial/Ind	2	419,200	1	\$219,000	50.00%	52.24%
Government/NP	1	200,000	1	\$200,000	100.00%	100.00%
Total	169	\$14,287,200	20	\$892,800	11.83%	6.25%
Future Inventory 10 years						
Population	709		22		3.05%	
Residential	216	\$19,135,200	22	\$663,320	10.01%	3.47%
Commercial/Ind	2	\$586,880	1	\$306,600	47.92%	52.24%
Government/NP	1	\$280,000	1	\$280,000	95.83%	100.00%
Total	219	\$20,002,080	24	\$1,249,920	10.89%	6.25%



Table 6.13 Cedar Lake Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	2,417		48		1.99%	
Residential	859	\$202,835,150	16	\$2,631,100	1.86%	1.30%
Commercial/Ind	6	\$1,572,100	0	\$0	0.00%	0.00%
Government/NP	2	\$1,575,000	0	\$0	0.00%	0.00%
Total	867	\$205,982,250	16	\$2,631,100	1.85%	1.28%
Future Inventory 10 years						
Population	3142		58		1.83%	
Residential	1117	\$283,969,210	18	\$3,683,540	1.58%	1.30%
Commercial/Ind	7	\$2,200,940	0	\$0	0.00%	0.00%
Government/NP	2	\$2,205,000	0	\$0	0.00%	0.00%
Total	1126	\$288,375,150	18	\$3,683,540	1.56%	1.28%
Cedar lake Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	2,417		0		0.00%	
Residential	859	\$202,835,150	22	\$3,300,000	2.56%	1.63%
Commercial/Ind	6	\$1,572,100	1	\$300,000	16.67%	19.08%
Government/NP	2	\$1,575,000	2	\$1,575,000	100.00%	100.00%
Total	867	\$205,982,250	25	\$5,175,000	2.88%	2.51%
Future Inventory 10 years						
Population	3142		0		0.00%	
Residential	1117	\$283,969,210	26	\$4,620,000	2.36%	1.63%
Commercial/Ind	7	\$2,200,940	1	\$420,000	15.97%	19.08%
Government/NP	2	\$2,205,000	2	\$2,205,000	95.83%	100.00%
Total	1126	\$288,375,150	30	\$7,245,000	2.65%	2.51%



Table 6.14 Credit River Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,285		0		0.00%	
Residential	1,430	\$1,384,219,900	0	\$0	0.00%	0.00%
Commercial/Ind	20	\$6,520,400	0	\$0	0.00%	0.00%
Government/NP	1	\$59,000	0	\$0	0.00%	0.00%
Total	1,451	\$1,390,799,300	0	\$0	0.00%	0.00%
Future Inventory 10 years						
Population	5570		0		0.00%	
Residential	1859	\$1,937,907,860	0	\$0	0.00%	0.00%
Commercial/Ind	24	\$9,128,560	0	\$0	0.00%	0.00%
Government/NP	1	\$82,600	0	\$0	0.00%	0.00%
Total	1884	\$1,947,119,020	0	\$0	0.00%	0.00%
Credit River Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,285		109		2.54%	
Residential	1,430	\$1,384,219,900	32	\$12,000,000	2.24%	0.87%
Commercial/Ind	20	\$6,520,400	3	\$2,245,400	15.00%	34.44%
Government/NP	1	\$59,000	1	\$59,000	100.00%	100.00%
Total	1,451	\$1,390,799,300	36	\$14,304,400	2.48%	1.03%
Future Inventory 10 years						
Population	5570		131		2.35%	
Residential	1859	\$1,937,907,860	38	\$16,800,000	2.07%	0.87%
Commercial/Ind	24	\$9,128,560	3	\$3,143,560	14.38%	34.44%
Government/NP	1	\$82,600	1	\$82,600	95.83%	100.00%
Total	1884	\$1,947,119,020	43	\$20,026,160	2.28%	1.03%



Table 6.15 Elko New Market Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	519		10		1.93%	
Residential	185	\$277,366,350	0	\$0	0.00%	0.00%
Commercial/Ind	24	\$6,171,200	0	\$0	0.00%	0.00%
Government/NP	7	\$5,935,000	1	\$2,400,000	14.29%	40.44%
Total	216	\$289,472,550	1	\$2,400,000	0.46%	0.83%
Future Inventory 10 years						
Population	675		12		1.78%	
Residential	241	\$388,312,890	0	\$0	0.00%	0.00%
Commercial/Ind	29	\$8,639,680	0	\$0	0.00%	0.00%
Government/NP	8	\$8,309,000	1	\$3,360,000	11.90%	40.44%
Total	278	\$405,261,570	1	\$3,360,000	0.36%	0.83%
Elko New Market Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	519		332		63.94%	
Residential	185	\$277,366,350	88	\$9,291,300	47.57%	3.35%
Commercial/Ind	24	\$6,171,200	4	\$1,750,100	16.67%	28.36%
Government/NP	7	\$5,935,000	4	\$2,500,000	57.14%	42.12%
Total	216	\$289,472,550	96	\$13,541,400	44.44%	4.68%
Future Inventory 10 years						
Population	675		398		59.03%	
Residential	241	\$388,312,890	106	\$13,007,820	43.91%	3.35%
Commercial/Ind	29	\$8,639,680	5	\$2,450,140	15.97%	28.36%
Government/NP	8	\$8,309,000	5	\$3,500,000	54.76%	42.12%
Total	278	\$405,261,570	115	\$18,957,960	41.34%	4.68%



Table 6.16 Helena Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,584		75		4.73%	
Residential	540	\$91,095,600	25	\$5,722,500	4.63%	6.28%
Commercial/Ind	5	\$1,314,600	0	\$0	0.00%	0.00%
Government/NP	3	\$1,115,000	2	\$115,000	66.67%	10.31%
Total	548	\$93,525,200	27	\$5,837,500	4.93%	6.24%
Future Inventory 10 years						
Population	2059		90		4.37%	
Residential	702	\$127,533,840	28	\$8,011,500	3.92%	6.28%
Commercial/Ind	6	\$1,840,440	0	\$0	0.00%	0.00%
Government/NP	4	\$1,561,000	2	\$161,000	55.56%	10.31%
Total	712	\$130,935,280	30	\$8,172,500	4.15%	6.24%
Helena Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,584		0		0.00%	
Residential	540	\$91,095,600	54	\$24,869,500	10.00%	27.30%
Commercial/Ind	5	\$1,314,600	2	\$520,000	40.00%	39.56%
Government/NP	3	\$1,115,000	1	\$100,000	33.33%	8.97%
Total	548	\$93,525,200	57	\$25,489,500	10.40%	27.25%
Future Inventory 10 years						
Population	2059		0		0.00%	
Residential	702	\$127,533,840	65	\$34,817,300	9.23%	27.30%
Commercial/Ind	6	\$1,840,440	2	\$728,000	38.33%	39.56%
Government/NP	4	\$1,561,000	1	\$140,000	31.94%	8.97%
Total	712	\$130,935,280	68	\$35,685,300	9.59%	27.25%



Table 6.16 Jackson Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,497		3		0.20%	
Residential	461	\$41,510,700	0	\$0	0.00%	0.00%
Commercial/Ind	36	\$10,491,000	1	\$154,300	2.78%	1.47%
Government/NP	2	\$572,100	0	\$0	0.00%	0.00%
Total	499	\$52,573,800	1	\$154,300	0.20%	0.29%
Future Inventory	10 years					
Population	1946		4		0.18%	
Residential	599	\$58,114,980	0	\$0	0.00%	0.00%
Commercial/Ind	43	\$14,687,400	1	\$216,020	2.43%	1.47%
Government/NP	2	\$800,940	0	\$0	0.00%	0.00%
Total	645	\$73,603,320	1	\$216,020	0.16%	0.29%
Jackson Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,497		63		4.21%	
Residential	461	\$41,510,700	13	\$2,975,100	2.82%	7.17%
Commercial/Ind	36	\$10,491,000	3	\$2,925,200	8.33%	27.88%
Government/NP	2	\$572,100	2	\$572,100	100.00%	100.00%
Total	499	\$52,573,800	18	\$6,472,400	3.61%	12.31%
Future Inventory	10 years					
Population	1946		76		3.88%	
Residential	599	\$58,114,980	16	\$4,165,140	2.60%	7.17%
Commercial/Ind	43	\$14,687,400	3	\$4,095,280	7.99%	27.88%
Government/NP	2	\$800,940	2	\$800,940	95.83%	100.00%
Total	645	\$73,603,320	21	\$9,061,360	3.31%	12.31%



Table 6.17 City of Jordan Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,216		975		23.12%	
Residential	1,610	\$267,874,400	215	\$24,692,100	13.35%	9.22%
Commercial/Ind	93	\$32,349,000	30	\$9,761,100	32.26%	30.17%
Government/NP	13	\$89,240,724	3	\$7,163,800	23.08%	8.03%
Total	1,716	\$389,464,124	248	\$41,617,000	14.45%	10.69%
Future Inventory	10 years					
Population	5481		1,170		21.35%	
Residential	2093	\$375,024,160	237	\$34,568,940	11.30%	9.22%
Commercial/Ind	112	\$45,288,600	32	\$13,665,540	28.23%	30.17%
Government/NP	16	\$124,937,014	3	\$10,029,320	19.23%	8.03%
Total	2220	\$545,249,774	271	\$58,263,800	12.21%	10.69%
Jordan Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,216		832		19.73%	
Residential	1,610	\$267,874,400	135	\$11,303,300	8.39%	4.22%
Commercial/Ind	93	\$32,349,000	33	\$7,869,700	35.48%	24.33%
Government/NP	13	\$89,240,724	3	\$3,000,000	23.08%	3.36%
Total	1,716	\$389,464,124	171	\$22,173,000	9.97%	5.69%
Future Inventory	10 years					
Population	5481		998		18.22%	
Residential	2093	\$375,024,160	162	\$15,824,620	7.74%	4.22%
Commercial/Ind	112	\$45,288,600	38	\$11,017,580	34.01%	24.33%
Government/NP	16	\$124,937,014	3	\$4,200,000	22.12%	3.36%
Total	2220	\$545,249,774	203	\$31,042,200	9.16%	5.69%



Table 6.18 Louisville Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,495		66		4.42%	
Residential	492	\$95,567,900	12	\$3,971,600	2.44%	4.16%
Commercial/Ind	40	\$16,961,500	3	\$1,454,900	7.50%	8.58%
Government/NP	4	\$11,400,000	0	\$0	0.00%	0.00%
Total	536	\$123,929,400	15	\$5,426,500	2.80%	4.38%
Future Inventory	10 years					
Population	1943		79		4.08%	
Residential	640	\$133,795,060	13	\$5,560,240	2.06%	4.16%
Commercial/Ind	48	\$23,746,100	3	\$2,036,860	6.56%	8.58%
Government/NP	5	\$15,960,000	0	\$0	0.00%	0.00%
Total	692	\$173,501,160	16	\$7,597,100	2.36%	4.38%
Louisville Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,495		0		0.00%	
Residential	492	\$95,567,900	30	\$4,500,000	6.10%	4.71%
Commercial/Ind	40	\$16,961,500	0	\$0	0.00%	0.00%
Government/NP	4	\$11,400,000	0	\$0	0.00%	0.00%
Total	536	\$123,929,400	30	\$4,500,000	5.60%	3.63%
Future Inventory	10 years					
Population	1943		0		0.00%	
Residential	640	\$133,795,060	36	\$6,300,000	5.63%	4.71%
Commercial/Ind	48	\$23,746,100	0	\$0	0.00%	0.00%
Government/NP	5	\$15,960,000	0	\$0	0.00%	0.00%
Total	692	\$173,501,160	36	\$6,300,000	5.20%	3.63%



Table 6.19 MDEWAKANTON Tribe Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,000		340		34.00%	
Residential	338	\$33,800,000	10	\$3,800,000	2.96%	11.24%
Commercial/Ind	9	\$41,400,000	4	\$18,000,000	44.44%	43.48%
Government/NP	2	\$1,400,000	1	\$800,000	50.00%	57.14%
Total	349	\$76,600,000	15	\$22,600,000	4.30%	29.50%
Future Inventory	10 years					
Population	1300		408		31.38%	
Residential	439	\$47,320,000	11	\$5,320,000	2.50%	11.24%
Commercial/Ind	11	\$57,960,000	4	\$25,200,000	38.89%	43.48%
Government/NP	2	\$1,960,000	1	\$1,120,000	41.67%	57.14%
Total	453	\$107,240,000	16	\$31,640,000	3.58%	29.50%
MDEWAKANTON Tribe Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,000		100		10.00%	
Residential	338	\$33,800,000	2	\$300,000	0.59%	0.89%
Commercial/Ind	9	\$41,400,000	1	\$800,000	11.11%	1.93%
Government/NP	2	\$1,400,000	2	\$1,400,000	100.00%	100.00%
Total	349	\$76,600,000	5	\$2,500,000	1.43%	3.26%
Future Inventory	10 years					
Population	1300		120		9.23%	
Residential	439	\$47,320,000	2	\$420,000	0.55%	0.89%
Commercial/Ind	11	\$57,960,000	1	\$1,120,000	10.65%	1.93%
Government/NP	2	\$1,960,000	2	\$1,960,000	95.83%	100.00%
Total	453	\$107,240,000	6	\$3,500,000	1.29%	3.26%



Table 6.20 New Market Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	3,407		3		0.09%	
Residential	1,156	\$321,394,000	1	\$218,800	0.09%	0.07%
Commercial/Ind	27	\$10,824,700	0	\$0	0.00%	0.00%
Government/NP	4	\$2,663,000	0	\$0	0.00%	0.00%
Total	1,187	\$334,881,700	1	\$218,800	0.08%	0.07%
Future Inventory	10 years					
Population	4429		4		0.08%	
Residential	1503	\$449,951,600	1	\$306,320	0.07%	0.07%
Commercial/Ind	32	\$15,154,580	0	\$0	0.00%	0.00%
Government/NP	5	\$3,728,200	0	\$0	0.00%	0.00%
Total	1540	\$468,834,380	1	\$306,320	0.07%	0.07%
New Market Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	3,407		87		2.55%	
Residential	1,156	\$321,394,000	26	\$2,830,000	2.25%	0.88%
Commercial/Ind	27	\$10,824,700	5	\$3,200,000	18.52%	29.56%
Government/NP	4	\$2,663,000	1	\$1,431,300	25.00%	53.75%
Total	1,187	\$334,881,700	32	\$7,461,300	2.70%	2.23%
Future Inventory	10 years					
Population	4429		104		2.36%	
Residential	1503	\$449,951,600	31	\$3,962,000	2.08%	0.88%
Commercial/Ind	32	\$15,154,580	6	\$4,480,000	17.75%	29.56%
Government/NP	5	\$3,728,200	1	\$2,003,820	23.96%	53.75%
Total	1540	\$468,834,380	38	\$10,445,820	2.47%	2.23%



Table 6.21 New Prague Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	5,015		99		1.97%	
Residential	1,994	\$212,043,000	13	\$1,674,000	0.65%	0.79%
Commercial/Ind	85	\$33,872,800	3	\$13,445,000	3.53%	39.69%
Government/NP	23	\$100,887,846	3	\$1,084,700	13.04%	1.08%
Total	2,102	\$346,803,646	19	\$16,203,700	0.90%	4.67%
Future Inventory	10 years					
Population	6519		119		1.82%	
Residential	2592	\$296,860,200	14	\$2,343,600	0.55%	0.79%
Commercial/Ind	102	\$47,421,920	3	\$18,823,000	3.09%	39.69%
Government/NP	28	\$141,242,984	3	\$1,518,580	10.87%	1.08%
Total	2722	\$485,525,104	20	\$22,685,180	0.75%	4.67%
New Prague Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	5,015		960		19.14%	
Residential	1,994	\$212,043,000	178	\$15,063,600	8.93%	7.10%
Commercial/Ind	85	\$33,872,800	24	\$9,666,800	28.24%	28.54%
Government/NP	23	\$100,887,846	3	\$8,590,600	13.04%	8.51%
Total	2,102	\$346,803,646	205	\$33,321,000	9.75%	9.61%
Future Inventory	10 years					
Population	6519		1,152		17.67%	
Residential	2592	\$296,860,200	214	\$21,089,040	8.24%	7.10%
Commercial/Ind	102	\$47,421,920	28	\$13,533,520	27.06%	28.54%
Government/NP	28	\$141,242,984	3	\$12,026,840	12.50%	8.51%
Total	2722	\$485,525,104	245	\$46,649,400	8.99%	9.61%



Table 6.22 Prior Lake Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	19,100		1,690		8.85%	
Residential	6,645	\$1,539,942,200	570	\$120,698,900	8.58%	7.84%
Commercial/Ind	192	\$74,351,400	4	\$691,000	2.08%	0.93%
Government/NP	25	\$162,894,270	4	\$23,000	16.00%	0.01%
Total	6,862	\$1,777,187,870	578	\$121,412,900	8.42%	6.83%
Future Inventory	10 years					
Population	24831		2,028		8.17%	
Residential	8639	\$2,155,919,080	627	\$168,978,460	7.26%	7.84%
Commercial/Ind	230	\$104,091,960	4	\$967,400	1.82%	0.93%
Government/NP	30	\$228,051,978	4	\$32,200	13.33%	0.01%
Total	8899	\$2,488,063,018	635	\$169,978,060	7.14%	6.83%
Prior Lake Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	19,100		983		5.15%	
Residential	6,645	\$1,539,942,200	99	\$9,757,000	1.49%	0.63%
Commercial/Ind	192	\$74,351,400	30	\$15,471,700	15.63%	20.81%
Government/NP	25	\$162,894,270	5	\$17,682,300	20.00%	10.86%
Total	6,862	\$1,777,187,870	134	\$42,911,000	1.95%	2.41%
Future Inventory	10 years					
Population	24831		1,180		4.75%	
Residential	8639	\$2,155,919,080	119	\$13,659,800	1.38%	0.63%
Commercial/Ind	230	\$104,091,960	35	\$21,660,380	14.97%	20.81%
Government/NP	30	\$228,051,978	6	\$24,755,220	19.17%	10.86%
Total	8899	\$2,488,063,018	159	\$60,075,400	1.79%	2.41%



Table 6.23 Sand Creek Twp Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,706		84		4.92%	
Residential	578	\$88,308,137	18	\$2,421,100	3.11%	2.74%
Commercial/Ind	28	\$11,614,600	3	\$2,287,300	10.71%	19.69%
Government/NP	1	\$2,000,000	0	\$0	0.00%	0.00%
Total	607	\$101,922,737	21	\$4,708,400	3.46%	4.62%
Future Inventory	10 years					
Population	2218		101		4.54%	
Residential	751	\$123,631,392	20	\$3,389,540	2.64%	2.74%
Commercial/Ind	34	\$16,260,440	3	\$3,202,220	9.38%	19.69%
Government/NP	1	\$2,800,000	0	\$0	0.00%	0.00%
Total	786	\$142,691,832	23	\$6,591,760	2.92%	4.62%
Sand Creek Twp Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	1,706		0		0.00%	
Residential	578	\$88,308,137	5	\$750,000	0.87%	0.85%
Commercial/Ind	28	\$11,614,600	0	\$0	0.00%	0.00%
Government/NP	1	\$2,000,000	0	\$0	0.00%	0.00%
Total	607	\$101,922,737	5	\$750,000	0.82%	0.74%
Future Inventory	10 years					
Population	2218		0		0.00%	
Residential	751	\$123,631,392	6	\$1,050,000	0.80%	0.85%
Commercial/Ind	34	\$16,260,440	0	\$0	0.00%	0.00%
Government/NP	1	\$2,800,000	0	\$0	0.00%	0.00%
Total	786	\$142,691,832	6	\$1,050,000	0.76%	0.74%



Table 6.24 Savage Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	25,338		1,835		7.24%	
Residential	8,207	\$1,590,379,600	175	\$24,691,800	2.13%	1.55%
Commercial/Ind	605	\$242,343,600	126	\$95,815,100	20.83%	39.54%
Government/NP	14	\$47,275,000	7	\$23,949,800	50.00%	50.66%
Total	8,826	\$1,879,998,200	308	\$144,456,700	3.49%	7.68%
Future Inventory	10 years					
Population	32939		2,202		6.69%	
Residential	10669	\$2,226,531,440	193	\$34,568,520	1.80%	1.55%
Commercial/Ind	726	\$339,281,040	132	\$134,141,140	18.22%	39.54%
Government/NP	17	\$66,185,000	7	\$33,529,720	41.67%	50.66%
Total	11412	\$2,631,997,480	332	\$202,239,380	2.91%	7.68%
Savage Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	25,338		534		2.11%	
Residential	8,207	\$1,590,379,600	123	\$10,698,000	1.50%	0.67%
Commercial/Ind	605	\$242,343,600	20	\$15,000,000	3.31%	6.19%
Government/NP	14	\$47,275,000	5	\$12,376,700	35.71%	26.18%
Total	8,826	\$1,879,998,200	148	\$38,074,700	1.68%	2.03%
Future Inventory	10 years					
Population	32939		641		1.95%	
Residential	10669	\$2,226,531,440	148	\$14,977,200	1.38%	0.67%
Commercial/Ind	726	\$339,281,040	23	\$21,000,000	3.17%	6.19%
Government/NP	17	\$66,185,000	6	\$17,327,380	34.23%	26.18%
Total	11412	\$2,631,997,480	176	\$53,304,580	1.55%	2.03%



Table 6.25 Shakopee Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	24,682		390		1.58%	
Residential	8,040	\$1,868,815,500	21	\$3,297,300	0.26%	0.18%
Commercial/Ind	1,344	\$572,030,000	19	\$22,979,100	1.41%	4.02%
Government/NP	26	\$302,906,300	3	\$1,660,800	11.54%	0.55%
Total	9,410	\$2,743,751,800	43	\$27,937,200	0.46%	1.02%
Future Inventory	10 years					
Population	32086		468		1.46%	
Residential	10452	\$2,616,341,700	23	\$4,616,220	0.22%	0.18%
Commercial/Ind	1613	\$800,842,000	20	\$32,170,740	1.24%	4.02%
Government/NP	31	\$424,068,820	3	\$2,325,120	9.62%	0.55%
Total	12096	\$3,841,252,520	46	\$39,112,080	0.38%	1.02%
Shakopee Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	24,682		1,310		5.31%	
Residential	8,040	\$1,868,815,500	160	\$15,764,400	1.99%	0.84%
Commercial/Ind	1,344	\$572,030,000	46	\$22,824,700	3.42%	3.99%
Government/NP	26	\$302,906,300	9	\$64,393,100	34.62%	21.26%
Total	9,410	\$2,743,751,800	215	\$102,982,200	2.28%	3.75%
Future Inventory	10 years					
Population	32086		1,572		4.90%	
Residential	10452	\$2,616,341,700	192	\$22,070,160	1.84%	0.84%
Commercial/Ind	1613	\$800,842,000	53	\$31,954,580	3.28%	3.99%
Government/NP	31	\$424,068,820	10	\$90,150,340	33.17%	21.26%
Total	12096	\$3,841,252,520	255	\$144,175,080	2.11%	3.75%



Table 6.26 Spring Lake Asset Inventory (500yr Flood)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,049		0		0.00%	
Residential	1,317	\$309,693,600	64	\$12,387,100	4.86%	4.00%
Commercial/Ind	9	\$4,306,100	0	\$0	0.00%	0.00%
Government/NP	1	\$1,200,000	0	\$0	0.00%	0.00%
Total	1,327	\$315,199,700	64	\$12,387,100	4.82%	3.93%
Future Inventory	10 years					
Population	5264		0		0.00%	
Residential	1712	\$433,571,040	70	\$17,341,940	4.11%	4.00%
Commercial/Ind	11	\$6,028,540	0	\$0	0.00%	0.00%
Government/NP	1	\$1,680,000	0	\$0	0.00%	0.00%
Total	1724	\$441,279,580	70	\$17,341,940	4.08%	3.93%
Spring Lake Asset Inventory (High Wind Event)						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	4,049		70		1.73%	
Residential	1,317	\$309,693,600	19	\$1,911,900	1.44%	0.62%
Commercial/Ind	9	\$4,306,100	2	\$1,561,000	22.22%	36.25%
Government/NP	1	\$1,200,000	1	\$1,200,000	100.00%	100.00%
Total	1,327	\$315,199,700	22	\$4,672,900	1.66%	1.48%
Future Inventory	10 years					
Population	5264		84		1.60%	
Residential	1712	\$433,571,040	23	\$2,676,660	1.33%	0.62%
Commercial/Ind	11	\$6,028,540	2	\$2,185,400	21.30%	36.25%
Government/NP	1	\$1,680,000	1	\$1,680,000	95.83%	100.00%
Total	1724	\$441,279,580	26	\$6,542,060	1.52%	1.48%



Table 6.27 St Lawrence Twp Asset Inventory						
Current Inventory	Total Number	Total Structure Value	In Flood Hazard		Qty Percent	Value Percent
			Qty	Value		
Population	519		40		7.70%	
Residential	174	\$32,251,700	10	\$2,262,600	5.75%	7.02%
Commercial/Ind	4	\$1,479,800	0	\$0	0.00%	0.00%
Government/NP	3	\$198,500	2	\$48,500	66.67%	24.43%
Total	181	\$33,930,000	12	\$2,311,100	6.63%	6.81%
Future Inventory	10 years					
Population	675		48		7.11%	
Residential	226	\$45,152,380	11	\$3,167,640	4.86%	7.02%
Commercial/Ind	5	\$2,071,720	0	\$0	0.00%	0.00%
Government/NP	4	\$277,900	2	\$67,900	55.56%	24.43%
Total	235	\$47,502,000	13	\$3,235,540	5.54%	6.81%
Current Inventory	Total Number	Total Structure Value	In High Wind Hazard		Qty Percent	Value Percent
			Qty	Value		
Population	519		35		6.74%	
Residential	174	\$32,251,700	1	\$200,000	0.57%	0.62%
Commercial/Ind	4	\$1,479,800	1	\$900,000	25.00%	60.82%
Government/NP	3	\$198,500	2	\$99,400	66.67%	50.08%
Total	181	\$33,930,000	4	\$1,199,400	2.21%	3.53%
Future Inventory	10 years					
Population	675		42		6.22%	
Residential	226	\$45,152,380	1	\$280,000	0.53%	0.62%
Commercial/Ind	5	\$2,071,720	1	\$1,260,000	23.96%	60.82%
Government/NP	4	\$277,900	2	\$139,160	63.89%	50.08%
Total	235	\$47,502,000	5	\$1,679,160	1.98%	3.53%



6.3.2 Asset Inventory For Secondary Hazards

This section of the plan update describes the Scott County current and future assets that may be impacted by hazards that may impact the entire planning area equally. These hazards are Drought, Earthquake, Extreme Temperatures, Hail, Ice/Snow, Landslides/Mudslides, Land Subsidence Lightning, Wildfires, Hazmat, Pandemic, Terrorism and Urban Fire.

The table below identifies the current citywide assets and an estimate of future value (10 years) of those assets.

Table 6.28 Scott County Asset Inventory Secondary Hazards						
Current Inventory	Total Number	Total Structure Value	Qty In Hazard	In Hazard Structure Value	Qty Percent	Value Percent
Population	36,155		36,155		100.00%	
Residential	2,631	1,101,908,900	2,631	1,101,908,900	100.00%	100.00%
Commercial/Ind	150	810,715,455	150	810,715,455	100.00%	100.00%
Government/NP	38,936	10,632,006,262	38,936	10,632,006,262	100.00%	100.00%
Total	41,717	\$12,544,630,617	41,717	12,544,630,617	100.00%	100.00%
Future Inventory	10 years					
Population	47002		43,386		92.31%	
Residential	3420	\$1,542,672,460	2,894	\$1,542,672,460	84.62%	100.00%
Commercial/Ind	180	\$1,135,001,637	158	\$1,135,001,637	87.50%	100.00%
Government/NP	46723	\$14,884,808,767	38,936	\$14,884,808,767	83.33%	100.00%
Total	50324	\$17,562,482,864	41,988	\$17,562,482,864	83.44%	100.00%

6.4 VULNERABILITY: ESTIMATING POTENTIAL LOSSES

To complete the loss estimation, the level of damage must be assessed, both as a percentage of the asset structural and content replacement value, function and usage loss.

To determine the loss to the structure in a particular hazard event, multiply the structure and content value by the expected percent damage.

For example, if the library's structure value is \$100,000 and the expected damage from a 100-year flood is 40 percent of the structure, then the loss to this structure from a flood is \$40,000.

To determine the losses to the contents from a particular hazard event, multiply the replacement value of the contents by the expected percent damage.

For example, if the library's content value is \$225,000 and the expected damage from a 100-year flood is 10 percent of the contents, then the losses to these contents from a flood is \$22,500.

If content value is unknown the following uplift factors can be applied to the structure value:

- Residences – 30%
- Government – 40%
- Commercial – 50%

To determine the cost of the loss of function for the period that the business or service was unable to operate due to the hazard event estimate the losses to structure use and function by determining functional downtime, or the time (in days) that the function would be disrupted from a hazard event. Then estimate the daily cost of the functional downtime by dividing the average annual budget or sales by 365 to determine the average daily operating budget or sales. Then multiply the average daily operating budget or sales by the functional downtime to determine the cost of the loss of function for the period that the business or service was unable to operate due to the hazard event.

For example, if an ice cream shop had daily sales of \$2,500 during the summertime and was forced to close for two weeks because of damages from a hazard event, the function loss would be \$35,000 (\$2,500 x 14 days).

For a public facility, such as a library with an annual budget of \$600,000 and an average daily budget of \$1,644 (\$600,000 / 365), the loss estimate for a seven-day closure would be \$11,508.

To determine the cost of the displacement from the regular place of business, determine the time (in days) that a function may need to operate from a temporary location due to a hazard event and multiply by the temporary location cost per day.

For example, if the library was closed for 7 days (loss of function) and then resumed operations from an empty trailer rented for \$10 per day for the next 90 days, the displacement cost would be \$900 (90 days x \$10 per day).

Requirement §201.6(c)(2)(ii)(B): The plan should describe vulnerability in terms of an] estimate of the potential dollar losses to vulnerable structures identified in paragraph (c)(2)(ii)(A) of this section and a description of the methodology used to prepare the estimate
A. Does the new or updated plan estimate potential dollar losses to vulnerable structures?
B. Does the new or updated plan describe the methodology used to prepare the estimate?

CRS Step 5: Assess the Problem: CRS credit is given for an assessment that includes a review of all properties that received flood insurance claims (in addition to repetitive (loss properties) or an estimate of the potential dollar losses to vulnerable structures. This is optional.



For residences the cost of displacement would be the cost of alternate facilities and the average time of residential construction in the county.

When data on specific facilities Function and use is unavailable a general methodology is used. The general methodology used in this plan is based on the categories of structures. Calculations for function and use loss are based on averages identified in past disaster events both locally and those documented by FEMA

Cubic yards calculations are based on the structures square feet and the estimated damage. Then appropriate factors are used to estimate soil building demolition debris. Local sanitation officials provide disposal costs per cubic yard.

Response, evacuation, recovery and other costs are calculated using a factor times the total structure value. The premise is that structure loss is directly related to the impact and extent of the hazard and therefore can be used as a basis for costs estimates.

Wages lost are a direct calculation of displaced days, structure capacity or workforce and the average daily wage for the jurisdiction.

6.4.1 Vulnerability Loss Estimates For Flooding and High Winds Hazards

The following table identifies the potential 500-year Flood loss for all of Scott County

Table 6.22 Scott County Flood Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
1,195	Residential	\$215,826,800		40.0%	\$107,913,400		20.0%	\$107,913,400	
207	Commercial/Ind	\$182,432,800		30.0%	\$72,973,120		15.0%	\$65,675,808	
35	Government/NP	\$63,402,062		30.0%	\$19,020,619		23.1%	\$23,409,992	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
1,195	Residential	60	\$50	\$3,585,000		60	\$200	\$14,340,000	\$17,925,000
207	Commercial/Ind	30	\$7,000	\$43,470,000		30	\$1,000	\$6,210,000	\$49,680,000
35	Government/NP	15	\$5,000	\$2,625,000		30	\$500	\$525,000	\$3,150,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
319,710	1,065,700	\$27,708,200		\$112	20,345	\$2,278,640	\$15,759,936	\$45,746,776	
Total Disaster Costs								\$313,500,976	

Following are detail tables that estimate losses, for each jurisdiction, for two major hazards high wind and a 500-year flood. For High Wind events where a specific geographical location cannot be identified hypothetical locations are assumed. For a High Wind event, an F4 tornado 300 yards wide and 1 mile long was predicted with the center point being the courthouse/administration facility of a jurisdiction



Table 6.22 Belle Plaine Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
33	Residential	\$7,260,000		40.0%	\$3,630,000		20.0%	\$3,630,000	
11	Commercial/Ind	\$4,400,000		30.0%	\$1,760,000		15.0%	\$1,584,000	
7	Government/NP	\$24,920,262		30.0%	\$7,476,079		23.1%	\$9,201,328	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
33	Residential	60	\$50	\$99,000		60	\$200	\$396,000	\$495,000
11	Commercial/Ind	30	\$7,000	\$2,310,000		30	\$1,000	\$330,000	\$2,640,000
7	Government/NP	15	\$5,000	\$525,000		30	\$500	\$105,000	\$630,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
13,446	44,820	\$1,165,320		\$112	675	\$75,600	\$1,153,226	\$2,394,146	
Total Disaster Costs								\$20,574,474	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
289	Residential	\$25,349,500		40.0%	\$12,674,750		40.0%	\$15,209,700	
28	Commercial/Ind	\$7,418,700		30.0%	\$2,967,480		30.0%	\$3,115,854	
5	Government/NP	\$7,179,500		35.0%	\$2,153,850		35.0%	\$3,266,673	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
289	Residential	90	\$50	\$1,300,500		90	\$200	\$5,202,000	\$6,502,500
28	Commercial/Ind	30	\$7,000	\$5,880,000		45	\$1,000	\$1,260,000	\$7,140,000
5	Government/NP	30	\$5,000	\$750,000		10	\$500	\$25,000	\$775,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
11,366	227,310	\$4,773,510		\$112	4,640	\$519,680	\$1,943,300	\$7,236,490	
Total Disaster Costs								\$43,246,217	



Table 6.22 Belle Plaine Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
2	Residential	\$223,600		40.0%	\$111,800		20.0%	\$111,800	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
2	Residential	60	\$50	\$6,000		60	\$200	\$24,000	\$30,000
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
384	1,280	\$33,280		\$112	30	\$3,360	\$8,944	\$45,584	
Total Disaster Costs								\$187,384	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
5	Residential	\$573,257		40.0%	\$286,629		40.0%	\$343,954	
0	Commercial/Ind	\$0		30.0%	\$0		30.0%	\$0	
1	Government/NP	\$202,443		35.0%	\$60,733		35.0%	\$92,112	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
5	Residential	90	\$50	\$22,500		90	\$200	\$90,000	\$112,500
0	Commercial/Ind	30	\$7,000	\$0		45	\$1,000	\$0	\$0
1	Government/NP	30	\$5,000	\$150,000		10	\$500	\$5,000	\$155,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
248	4,950	\$103,950		\$112	80	\$8,960	\$39,246	\$152,156	
Total Disaster Costs								\$855,722	



Table 6.22 Blakeley Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
7	Residential	\$462,900		40.0%	\$231,450		20.0%	\$231,450	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
1	Government/NP	\$200,000		30.0%	\$60,000		23.1%	\$73,846	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
7	Residential	60	\$50	\$21,000		60	\$200	\$84,000	\$105,000
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
1	Government/NP	15	\$5,000	\$75,000		30	\$500	\$15,000	\$90,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost		Response Costs	Related Costs
1,794	5,980	\$155,480		\$112	115	\$12,880		\$24,424	\$192,784
Total Disaster Costs								\$693,080	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
18	Residential	\$473,800		40.0%	\$236,900		40.0%	\$284,280	
1	Commercial/Ind	\$219,000		30.0%	\$87,600		30.0%	\$91,980	
1	Government/NP	\$200,000		35.0%	\$60,000		35.0%	\$91,000	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
18	Residential	90	\$50	\$81,000		90	\$200	\$324,000	\$405,000
1	Commercial/Ind	30	\$7,000	\$210,000		45	\$1,000	\$45,000	\$255,000
1	Government/NP	30	\$5,000	\$150,000		10	\$500	\$5,000	\$155,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost		Response Costs	Related Costs
724	14,470	\$303,870		\$112	285	\$31,920		\$42,053	\$377,843
Total Disaster Costs								\$1,660,103	



Table 6.22 Cedar Lake Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
16	Residential	\$2,631,100		40.0%	\$1,315,550		20.0%	\$1,315,550	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
16	Residential	60	\$50	\$48,000		60	\$200	\$192,000	\$240,000
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
3,072	10,240	\$266,240		\$112	240	\$26,880	\$105,244	\$398,364	
Total Disaster Costs								\$1,953,914	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
22	Residential	\$3,300,000		40.0%	\$1,650,000		40.0%	\$1,980,000	
1	Commercial/Ind	\$300,000		30.0%	\$120,000		30.0%	\$126,000	
2	Government/NP	\$1,575,000		35.0%	\$472,500		35.0%	\$716,625	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
22	Residential	90	\$50	\$99,000		90	\$200	\$396,000	\$495,000
1	Commercial/Ind	30	\$7,000	\$210,000		45	\$1,000	\$45,000	\$255,000
2	Government/NP	30	\$5,000	\$300,000		10	\$500	\$10,000	\$310,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
939	18,780	\$394,380		\$112	350	\$39,200	\$254,036	\$687,616	
Total Disaster Costs								\$4,570,241	



Table 6.22 Credit River Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
0	Residential	\$0		40.0%	\$0		20.0%	\$0	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
0	Residential	60	\$50	\$0		60	\$200	\$0	\$0
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost		Response Costs	Related Costs
0	0	\$0		\$112	0	\$0		\$0	\$0
Total Disaster Costs								\$0	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
32	Residential	\$12,000,000		40.0%	\$6,000,000		40.0%	\$7,200,000	
3	Commercial/Ind	\$2,245,400		30.0%	\$898,160		30.0%	\$943,068	
1	Government/NP	\$59,000		35.0%	\$17,700		35.0%	\$26,845	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
32	Residential	90	\$50	\$144,000		90	\$200	\$576,000	\$720,000
3	Commercial/Ind	30	\$7,000	\$630,000		45	\$1,000	\$135,000	\$765,000
1	Government/NP	30	\$5,000	\$150,000		10	\$500	\$5,000	\$155,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost		Response Costs	Related Costs
1,292	25,830	\$542,430		\$112	515	\$57,680		\$735,292	\$1,335,402
Total Disaster Costs								\$11,145,315	



Table 6.22 Elko New Market Flood and High Wind Hazard Loss

Flood Hazard								
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss
0	Residential	\$0		40.0%	\$0		20.0%	\$0
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0
1	Government/NP	\$2,400,000		30.0%	\$720,000		23.1%	\$886,154
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss
0	Residential	60	\$50	\$0	60	\$200	\$0	\$0
0	Commercial/Ind	30	\$7,000	\$0	30	\$1,000	\$0	\$0
1	Government/NP	15	\$5,000	\$75,000	30	\$500	\$15,000	\$90,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs
450	1,500	\$39,000		\$112	10	\$1,120	\$70,892	\$111,012
Total Disaster Costs								\$1,087,166
High Wind Hazard								
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss
88	Residential	\$9,291,300		40.0%	\$4,645,650		40.0%	\$5,574,780
4	Commercial/Ind	\$1,750,100		30.0%	\$700,040		30.0%	\$735,042
4	Government/NP	\$2,500,000		35.0%	\$750,000		35.0%	\$1,137,500
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss
88	Residential	90	\$50	\$396,000	90	\$200	\$1,584,000	\$1,980,000
4	Commercial/Ind	30	\$7,000	\$840,000	45	\$1,000	\$180,000	\$1,020,000
4	Government/NP	30	\$5,000	\$600,000	10	\$500	\$20,000	\$620,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs
3,406	68,120	\$1,430,520		\$112	1,380	\$154,560	\$670,259	\$2,255,339
Total Disaster Costs								\$13,322,661



Table 6.22 Helena Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
25	Residential	\$5,722,500		40.0%	\$2,861,250		20.0%	\$2,861,250	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
2	Government/NP	\$115,000		30.0%	\$34,500		23.1%	\$42,462	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
25	Residential	60	\$50	\$75,000		60	\$200	\$300,000	\$375,000
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
2	Government/NP	15	\$5,000	\$150,000		30	\$500	\$30,000	\$180,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
5,700	19,000	\$494,000		\$112	395	\$44,240	\$232,297	\$770,537	
Total Disaster Costs								\$4,229,248	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
54	Residential	\$24,869,500		40.0%	\$12,434,750		40.0%	\$14,921,700	
2	Commercial/Ind	\$520,000		30.0%	\$208,000		30.0%	\$218,400	
1	Government/NP	\$100,000		35.0%	\$30,000		35.0%	\$45,500	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
54	Residential	90	\$50	\$243,000		90	\$200	\$972,000	\$1,215,000
2	Commercial/Ind	30	\$7,000	\$420,000		45	\$1,000	\$90,000	\$510,000
1	Government/NP	30	\$5,000	\$150,000		10	\$500	\$5,000	\$155,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
1,936	38,710	\$812,910		\$112	835	\$93,520	\$1,366,704	\$2,273,134	
Total Disaster Costs								\$19,338,734	



Table 6.22 Jackson Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
0	Residential	\$0		40.0%	\$0		20.0%	\$0	
1	Commercial/Ind	\$154,300		30.0%	\$61,720		15.0%	\$55,548	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
0	Residential	60	\$50	\$0		60	\$200	\$0	\$0
1	Commercial/Ind	30	\$7,000	\$210,000		30	\$1,000	\$30,000	\$240,000
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
360	1,200	\$31,200		\$112	10	\$1,120	\$4,444	\$36,764	
Total Disaster Costs								\$332,312	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
13	Residential	\$2,975,100		40.0%	\$1,487,550		40.0%	\$1,785,060	
3	Commercial/Ind	\$2,925,200		30.0%	\$1,170,080		30.0%	\$1,228,584	
2	Government/NP	\$572,100		35.0%	\$171,630		35.0%	\$260,306	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
13	Residential	90	\$50	\$58,500		90	\$200	\$234,000	\$292,500
3	Commercial/Ind	30	\$7,000	\$630,000		45	\$1,000	\$135,000	\$765,000
2	Government/NP	30	\$5,000	\$300,000		10	\$500	\$10,000	\$310,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
771	15,420	\$323,820		\$112	235	\$26,320	\$294,655	\$644,795	
Total Disaster Costs								\$5,286,245	



Table 6.22 Jordan Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
215	Residential	\$24,692,100		40.0%	\$12,346,050		20.0%	\$12,346,050	
30	Commercial/Ind	\$9,761,100		30.0%	\$3,904,440		15.0%	\$3,513,996	
3	Government/NP	\$7,163,800		30.0%	\$2,149,140		23.1%	\$2,645,095	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
215	Residential	60	\$50	\$645,000		60	\$200	\$2,580,000	\$3,225,000
30	Commercial/Ind	30	\$7,000	\$6,300,000		30	\$1,000	\$900,000	\$7,200,000
3	Government/NP	15	\$5,000	\$225,000		30	\$500	\$45,000	\$270,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
53,430	178,100	\$4,630,600		\$112	3,555	\$398,160	\$1,480,411	\$6,509,171	
Total Disaster Costs								\$35,709,313	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
135	Residential	\$11,303,300		40.0%	\$5,651,650		40.0%	\$6,781,980	
33	Commercial/Ind	\$7,869,700		30.0%	\$3,147,880		30.0%	\$3,305,274	
3	Government/NP	\$3,000,000		35.0%	\$900,000		35.0%	\$1,365,000	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
135	Residential	90	\$50	\$607,500		90	\$200	\$2,430,000	\$3,037,500
33	Commercial/Ind	30	\$7,000	\$6,930,000		45	\$1,000	\$1,485,000	\$8,415,000
3	Government/NP	30	\$5,000	\$450,000		10	\$500	\$15,000	\$465,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
6,563	131,250	\$2,756,250		\$112	2,370	\$265,440	\$1,030,703	\$4,052,393	
Total Disaster Costs								\$27,422,147	



Table 6.22 Louisville Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
12	Residential	\$3,971,600		40.0%	\$1,985,800		20.0%	\$1,985,800	
3	Commercial/Ind	\$1,454,900		30.0%	\$581,960		15.0%	\$523,764	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
12	Residential	60	\$50	\$36,000		60	\$200	\$144,000	\$180,000
3	Commercial/Ind	30	\$7,000	\$630,000		30	\$1,000	\$90,000	\$720,000
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
3,384	11,280	\$293,280		\$112	210	\$23,520	\$200,765	\$517,565	
Total Disaster Costs								\$3,927,129	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
30	Residential	\$4,500,000		40.0%	\$2,250,000		40.0%	\$2,700,000	
0	Commercial/Ind	\$0		30.0%	\$0		30.0%	\$0	
0	Government/NP	\$0		35.0%	\$0		35.0%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
30	Residential	90	\$50	\$135,000		90	\$200	\$540,000	\$675,000
0	Commercial/Ind	30	\$7,000	\$0		45	\$1,000	\$0	\$0
0	Government/NP	30	\$5,000	\$0		10	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
960	19,200	\$403,200		\$112	450	\$50,400	\$243,000	\$696,600	
Total Disaster Costs								\$4,071,600	



Table 6.22 Mdewakanton Tribe Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
10	Residential	\$3,800,000		40.0%	\$1,900,000		20.0%	\$1,900,000	
4	Commercial/Ind	\$18,000,000		30.0%	\$7,200,000		15.0%	\$6,480,000	
1	Government/NP	\$800,000		30.0%	\$240,000		23.1%	\$295,385	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
10	Residential	60	\$50	\$30,000		60	\$200	\$120,000	\$150,000
4	Commercial/Ind	30	\$7,000	\$840,000		30	\$1,000	\$120,000	\$960,000
1	Government/NP	15	\$5,000	\$75,000		30	\$500	\$15,000	\$90,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost		Response Costs	Related Costs
3,810	12,700	\$330,200		\$112	200	\$22,400		\$694,031	\$1,046,631
Total Disaster Costs								\$10,922,015	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
2	Residential	\$300,000		40.0%	\$150,000		40.0%	\$180,000	
1	Commercial/Ind	\$800,000		30.0%	\$320,000		30.0%	\$336,000	
2	Government/NP	\$1,400,000		35.0%	\$420,000		35.0%	\$637,000	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
2	Residential	90	\$50	\$9,000		90	\$200	\$36,000	\$45,000
1	Commercial/Ind	30	\$7,000	\$210,000		45	\$1,000	\$45,000	\$255,000
2	Government/NP	30	\$5,000	\$300,000		10	\$500	\$10,000	\$310,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost		Response Costs	Related Costs
299	5,980	\$125,580		\$112	50	\$5,600		\$103,770	\$234,950
Total Disaster Costs								\$1,997,950	



Table 6.22 New Market Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
1	Residential	\$218,800		40.0%	\$109,400		20.0%	\$109,400	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
1	Residential	60	\$50	\$3,000		60	\$200	\$12,000	\$15,000
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
192	640	\$16,640		\$112	15	\$1,680	\$8,752	\$27,072	
Total Disaster Costs								\$151,472	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
26	Residential	\$2,830,000		40.0%	\$1,415,000		40.0%	\$1,698,000	
5	Commercial/Ind	\$3,200,000		30.0%	\$1,280,000		30.0%	\$1,344,000	
1	Government/NP	\$1,431,300		35.0%	\$429,390		35.0%	\$651,242	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
26	Residential	90	\$50	\$117,000		90	\$200	\$468,000	\$585,000
5	Commercial/Ind	30	\$7,000	\$1,050,000		45	\$1,000	\$225,000	\$1,275,000
1	Government/NP	30	\$5,000	\$150,000		10	\$500	\$5,000	\$155,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
1,220	24,390	\$512,190		\$112	445	\$49,840	\$332,392	\$894,422	
Total Disaster Costs								\$6,602,663	



Table 6.22 New Prague Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
13	Residential	\$1,674,000		40.0%	\$837,000		20.0%	\$837,000	
3	Commercial/Ind	\$13,445,000		30.0%	\$5,378,000		15.0%	\$4,840,200	
3	Government/NP	\$1,084,700		30.0%	\$325,410		23.1%	\$400,505	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
13	Residential	60	\$50	\$39,000		60	\$200	\$156,000	\$195,000
3	Commercial/Ind	30	\$7,000	\$630,000		30	\$1,000	\$90,000	\$720,000
3	Government/NP	15	\$5,000	\$225,000		30	\$500	\$45,000	\$270,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
4,926	16,420	\$426,920		\$112	255	\$28,560	\$486,216	\$941,696	
Total Disaster Costs								\$8,204,401	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
178	Residential	\$15,063,600		40.0%	\$7,531,800		40.0%	\$9,038,160	
24	Commercial/Ind	\$9,666,800		30.0%	\$3,866,720		30.0%	\$4,060,056	
3	Government/NP	\$8,590,600		35.0%	\$2,577,180		35.0%	\$3,908,723	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
178	Residential	90	\$50	\$801,000		90	\$200	\$3,204,000	\$4,005,000
24	Commercial/Ind	30	\$7,000	\$5,040,000		45	\$1,000	\$1,080,000	\$6,120,000
3	Government/NP	30	\$5,000	\$450,000		10	\$500	\$15,000	\$465,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
7,399	147,970	\$3,107,370		\$112	2,925	\$327,600	\$1,530,625	\$4,965,595	
Total Disaster Costs								\$32,562,534	



Table 6.22 Prior Lake Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
570	Residential	\$120,698,900		40.0%	\$60,349,450		20.0%	\$60,349,450	
4	Commercial/Ind	\$691,000		30.0%	\$276,400		15.0%	\$248,760	
4	Government/NP	\$23,000		30.0%	\$6,900		23.1%	\$8,492	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
570	Residential	60	\$50	\$1,710,000		60	\$200	\$6,840,000	\$8,550,000
4	Commercial/Ind	30	\$7,000	\$840,000		30	\$1,000	\$120,000	\$960,000
4	Government/NP	15	\$5,000	\$300,000		30	\$500	\$60,000	\$360,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
112,680	375,600	\$9,765,600		\$112	8,630	\$966,560	\$4,848,536	\$15,580,696	
Total Disaster Costs								\$86,057,398	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
99	Residential	\$9,757,000		40.0%	\$4,878,500		40.0%	\$5,854,200	
30	Commercial/Ind	\$15,471,700		30.0%	\$6,188,680		30.0%	\$6,498,114	
5	Government/NP	\$17,682,300		35.0%	\$5,304,690		35.0%	\$8,045,447	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
99	Residential	90	\$50	\$445,500		90	\$200	\$1,782,000	\$2,227,500
30	Commercial/Ind	30	\$7,000	\$6,300,000		45	\$1,000	\$1,350,000	\$7,650,000
5	Government/NP	30	\$5,000	\$750,000		10	\$500	\$25,000	\$775,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
5,406	108,110	\$2,270,310		\$112	1,810	\$202,720	\$1,835,798	\$4,308,828	
Total Disaster Costs								\$35,359,089	



Table 6.22 St Lawrence Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
13	Residential	\$1,674,000		40.0%	\$837,000		20.0%	\$837,000	
3	Commercial/Ind	\$13,445,000		30.0%	\$5,378,000		15.0%	\$4,840,200	
3	Government/NP	\$1,084,700		30.0%	\$325,410		23.1%	\$400,505	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
13	Residential	60	\$50	\$39,000		60	\$200	\$156,000	\$195,000
3	Commercial/Ind	30	\$7,000	\$630,000		30	\$1,000	\$90,000	\$720,000
3	Government/NP	15	\$5,000	\$225,000		30	\$500	\$45,000	\$270,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
4,926	16,420	\$426,920		\$112	255	\$28,560	\$486,216	\$941,696	
Total Disaster Costs								\$8,204,401	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
178	Residential	\$15,063,600		40.0%	\$7,531,800		40.0%	\$9,038,160	
24	Commercial/Ind	\$9,666,800		30.0%	\$3,866,720		30.0%	\$4,060,056	
3	Government/NP	\$8,590,600		35.0%	\$2,577,180		35.0%	\$3,908,723	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
178	Residential	90	\$50	\$801,000		90	\$200	\$3,204,000	\$4,005,000
24	Commercial/Ind	30	\$7,000	\$5,040,000		45	\$1,000	\$1,080,000	\$6,120,000
3	Government/NP	30	\$5,000	\$450,000		10	\$500	\$15,000	\$465,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
7,399	147,970	\$3,107,370		\$112	2,925	\$327,600	\$1,530,625	\$4,965,595	
Total Disaster Costs								\$32,562,534	



Table 6.22 Sand Creek Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
18	Residential	\$2,421,100		40.0%	\$1,210,550		20.0%	\$1,210,550	
3	Commercial/Ind	\$2,287,300		30.0%	\$914,920		15.0%	\$823,428	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
18	Residential	60	\$50	\$54,000		60	\$200	\$216,000	\$270,000
3	Commercial/Ind	30	\$7,000	\$630,000		30	\$1,000	\$90,000	\$720,000
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
4,536	15,120	\$393,120		\$112	300	\$33,600	\$162,718	\$589,438	
Total Disaster Costs								\$3,613,416	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
5	Residential	\$750,000		40.0%	\$375,000		40.0%	\$450,000	
0	Commercial/Ind	\$0		30.0%	\$0		30.0%	\$0	
0	Government/NP	\$0		35.0%	\$0		35.0%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
5	Residential	90	\$50	\$22,500		90	\$200	\$90,000	\$112,500
0	Commercial/Ind	30	\$7,000	\$0		45	\$1,000	\$0	\$0
0	Government/NP	30	\$5,000	\$0		10	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
160	3,200	\$67,200		\$112	75	\$8,400	\$40,500	\$116,100	
Total Disaster Costs								\$678,600	



Table 6.22 Savage Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value	Loss %	Content Value	Loss%	Struc/Cont Loss			
175	Residential	\$24,691,800	40.0%	\$12,345,900	20.0%	\$12,345,900			
126	Commercial/Ind	\$95,815,100	30.0%	\$38,326,040	15.0%	\$34,493,436			
7	Government/NP	\$23,949,800	30.0%	\$7,184,940	23.1%	\$8,843,003			
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss	
175	Residential	60	\$50	\$525,000	60	\$200	\$2,100,000	\$2,625,000	
126	Commercial/Ind	30	\$7,000	\$26,460,000	30	\$1,000	\$3,780,000	\$30,240,000	
7	Government/NP	15	\$5,000	\$525,000	30	\$500	\$105,000	\$630,000	
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs		
82,110	273,700	\$7,116,200	\$112	3,955	\$442,960	\$4,454,587	\$12,013,747		
Total Disaster Costs							\$101,191,086		
High Wind Hazard									
Qty	Structure Type	Structure Value	Loss %	Content Value	Loss%	Struc/Cont Loss			
123	Residential	\$10,698,000	40.0%	\$5,349,000	40.0%	\$6,418,800			
20	Commercial/Ind	\$15,000,000	30.0%	\$6,000,000	30.0%	\$6,300,000			
5	Government/NP	\$12,376,700	35.0%	\$3,713,010	35.0%	\$5,631,399			
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss	
123	Residential	90	\$50	\$553,500	90	\$200	\$2,214,000	\$2,767,500	
20	Commercial/Ind	30	\$7,000	\$4,200,000	45	\$1,000	\$900,000	\$5,100,000	
5	Government/NP	30	\$5,000	\$750,000	10	\$500	\$25,000	\$775,000	
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs		
5,574	111,470	\$2,340,870	\$112	2,070	\$231,840	\$1,651,518	\$4,224,228		
Total Disaster Costs							\$31,216,926		



Table 6.22 Shakopee Flood and High Wind Hazard Loss								
Flood Hazard								
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss
21	Residential	\$3,297,300		40.0%	\$1,648,650		20.0%	\$1,648,650
19	Commercial/Ind	\$22,979,100		30.0%	\$9,191,640		15.0%	\$8,272,476
3	Government/NP	\$1,660,800		30.0%	\$498,240		23.1%	\$613,218
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss
21	Residential	60	\$50	\$63,000	60	\$200	\$252,000	\$315,000
19	Commercial/Ind	30	\$7,000	\$3,990,000	30	\$1,000	\$570,000	\$4,560,000
3	Government/NP	15	\$5,000	\$225,000	30	\$500	\$45,000	\$270,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs
12,222	40,740	\$1,059,240		\$112	535	\$59,920	\$842,748	\$1,961,908
Total Disaster Costs								\$17,641,252
High Wind Hazard								
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss
160	Residential	\$15,764,400		40.0%	\$7,882,200		40.0%	\$9,458,640
46	Commercial/Ind	\$22,824,700		30.0%	\$9,129,880		30.0%	\$9,586,374
9	Government/NP	\$64,393,100		35.0%	\$19,317,930		35.0%	\$29,298,861
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss
160	Residential	90	\$50	\$720,000	90	\$200	\$2,880,000	\$3,600,000
46	Commercial/Ind	30	\$7,000	\$9,660,000	45	\$1,000	\$2,070,000	\$11,730,000
9	Government/NP	30	\$5,000	\$1,350,000	10	\$500	\$45,000	\$1,395,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs
8,668	173,350	\$3,640,350		\$112	2,905	\$325,360	\$4,350,949	\$8,316,659
Total Disaster Costs								\$73,385,533



Table 6.22 Spring Lake Twp Flood and High Wind Hazard Loss									
Flood Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
64	Residential	\$12,387,100		40.0%	\$6,193,550		20.0%	\$6,193,550	
0	Commercial/Ind	\$0		30.0%	\$0		15.0%	\$0	
0	Government/NP	\$0		30.0%	\$0		23.1%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
64	Residential	60	\$50	\$192,000		60	\$200	\$768,000	\$960,000
0	Commercial/Ind	30	\$7,000	\$0		30	\$1,000	\$0	\$0
0	Government/NP	15	\$5,000	\$0		30	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
12,288	40,960	\$1,064,960		\$112	960	\$107,520	\$495,484	\$1,667,964	
Total Disaster Costs								\$8,821,514	
High Wind Hazard									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
19	Residential	\$1,911,900		40.0%	\$955,950		40.0%	\$1,147,140	
2	Commercial/Ind	\$1,561,000		30.0%	\$624,400		30.0%	\$655,620	
1	Government/NP	\$1,200,000		35.0%	\$360,000		35.0%	\$546,000	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
19	Residential	90	\$50	\$85,500		90	\$200	\$342,000	\$427,500
2	Commercial/Ind	30	\$7,000	\$420,000		45	\$1,000	\$90,000	\$510,000
1	Government/NP	30	\$5,000	\$150,000		10	\$500	\$5,000	\$155,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
816	16,310	\$342,510		\$112	310	\$34,720	\$211,388	\$588,618	
Total Disaster Costs								\$4,029,878	



6.4.2 Vulnerability Loss Estimates For Secondary Hazards

This section of the plan update describes the Scott County estimated vulnerability loss that may be incurred by hazards that may impact the entire planning area equally. These hazards are Drought, Earthquake, Extreme Temperatures, Hail, Lightning and Ice/Snow. The manmade hazards identified in this plan (hazardous material, pandemic, terrorism and urban fire) would also impact the entire planning area equally. The loss percentage for each of these hazards were derived by the 2009 Hazard Mitigation committee based on both historic losses and local knowledge. Function and Use loss was calculated using a factor that was developed from historic events, local knowledge, and other sources. The factor was multiplied against the total estimated loss.

Drought can affect structures primarily through land subsidence (sinkholes) that may impact buildings as well as infrastructure anywhere within the county. Drought may also impact population through the lack of potable water or locally produced food items. However, the larger impact of drought within the county can be the lack of water for public and private landscaping resulting in replacement costs for landscape products. The largest loss from a drought would probably be in the agriculture area. Function and use loss would be negligible, as buildings would remain operational. Loss of life and injuries do occur but are minimal. The table below estimates the losses from a severe drought event

Table 6.22 Scott County Drought Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.10%	\$4,359,690,954		0.0%	\$8,719,382	
2,631	Commercial/Ind	\$1,101,908,900		0.10%	\$440,763,560		0.0%	\$1,101,909	
150	Government/NP	\$810,715,455		0.10%	\$243,214,637		0.0%	\$810,715	
	Crop Loss							\$5,000,000	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0	\$50	\$0		0	\$200	\$0	\$0
2,631	Commercial/Ind	0	\$7,000	\$0		0	\$1,000	\$0	\$0
150	Government/NP	0	\$5,000	\$0		0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
0	0	\$0		\$64	26,310	\$1,683,840	\$850,561	\$2,534,401	
Total Disaster Costs								\$18,166,407	

Earthquake occurrences of the magnitude predicted in the county would impact the entire county and could result in some cracking of concrete structures and some movement of wood structures off foundations. Brick from buildings could crack and fall. The shaking could result in electrical and water infrastructure to suffer damage. The county loss would include infrastructure loss. Function and use loss could be moderate as structures could be damaged to the extent that some repairs are needed making them unusable for short period of time. Because of the lack of warning it can be expected that there may be a few injuries from an earthquake event The table below estimates the loss from a 6.5 magnitude earthquake.



Table 6.22 Scott County Earthquake Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.2%	\$4,359,690,954		0.1%	\$21,798,455	
2,631	Commercial/Ind	\$1,101,908,900		0.3%	\$440,763,560		0.1%	\$3,746,490	
150	Government/NP	\$810,715,455		0.3%	\$243,214,637		0.1%	\$2,675,361	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	1	\$50	\$1,807,750		1	\$200	\$7,231,000	\$9,038,750
2,631	Commercial/Ind	1	\$7,000	\$18,417,000		0	\$1,000	\$0	\$18,417,000
150	Government/NP	1	\$5,000	\$750,000		0	\$500	\$0	\$750,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs		
1,495	149,518	\$3,020,264	\$112	75,091	\$8,410,192	\$2,257,624	\$13,688,080		
Total Disaster Costs								\$70,114,136	

Extreme Temperatures can affect concrete structures and infrastructures anywhere in the county. Extremely high temperatures and low can cause cracking and buckling of concrete structures and roadways and failure of electrical and mechanical components and equipment. Failure of air-conditioning/heating systems and/or direct outdoor exposure of populations can result in severe illness. The Table below estimates the cost of an Extreme Temperatures event.

Table 6.22 Scott County Extreme Temperature Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.01%	\$4,359,690,954		0.0%	\$871,938	
2,631	Commercial/Ind	\$1,101,908,900		0.01%	\$440,763,560		0.0%	\$110,191	
150	Government/NP	\$810,715,455		0.01%	\$243,214,637		0.0%	\$81,072	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0.1	\$50	\$180,775		0	\$200	\$0	\$180,775
2,631	Commercial/Ind	0.1	\$7,000	\$1,841,700		0	\$1,000	\$0	\$1,841,700
150	Government/NP	0.1	\$5,000	\$75,000		0	\$500	\$0	\$75,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs		
69	138	\$4,147	\$112	6,397	\$716,408	\$85,056	\$805,611		
Total Disaster Costs								\$3,966,287	

Hail has the capacity to impact primarily mobile homes and structures with siding material such as aluminum and vinyl. Hail can impact housing roofing and break windows in almost any structure or automobile. Hail can also destroy many landscaping and agricultural crops. Function and use loss would be negligible, as buildings would remain operational. Loss of life and injuries do occur but are minimal.



Table 6.22 Scott County Hail Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.03%	\$4,359,690,954		0.0%	\$2,615,815	
2,631	Commercial/Ind	\$1,101,908,900		0.01%	\$440,763,560		0.0%	\$110,191	
150	Government/NP	\$810,715,455		0.01%	\$243,214,637		0.0%	\$81,072	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0.2	\$50	\$361,550		0.2	\$200	\$1,446,200	\$1,807,750
2,631	Commercial/Ind	0.01	\$7,000	\$184,170		0	\$1,000	\$0	\$184,170
150	Government/NP	0.01	\$5,000	\$7,500		0	\$500	\$0	\$7,500
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
185	370	\$11,089		\$112	39	\$4,361	\$224,566	\$240,016	
Total Disaster Costs								\$5,046,513	

Ice/Snow is most destructive against wood built homes and any structure with a roof that is not designed for an ice or snow load. Ice has the capability to fall large tree limbs, which can damage structures. Ice is especially damaging to electrical lines forcing power outages, which can result in secondary damage to structures. There may be some function and use loss as repairs may make the structures unusable for a few days on the average. There may be some loss of life and injuries due to primarily secondary effects (i.e. accidents, exposure, fires from heaters).

Table 6.22 Scott County Ice/Snow Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.09%	\$4,359,690,954		0.0%	\$7,847,444	
2,631	Commercial/Ind	\$1,101,908,900		0.02%	\$440,763,560		0.0%	\$220,382	
150	Government/NP	\$810,715,455		0.02%	\$243,214,637		0.0%	\$162,143	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	1	\$50	\$1,807,750		0.2	\$200	\$1,446,200	\$3,253,950
2,631	Commercial/Ind	0.5	\$7,000	\$9,208,500		0	\$1,000	\$0	\$9,208,500
150	Government/NP	1	\$5,000	\$750,000		0	\$500	\$0	\$750,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
543	1,086	\$32,591		\$112	38,936	\$4,360,832	\$658,397	\$5,051,820	
Total Disaster Costs								\$26,494,239	

The topography and geology of Scott County is susceptible to the effects of landslides and especially mudslides, according to the Geological Survey of Minnesota. The northern and western part of the county has a moderate risk of landslides. Mudslides/land slides have not been a significant risk in Scott County. The effects of landslides are often misrepresented as being the result of the landslide trigger event, such as a flood. The impact from a landslide or Mudslide can include loss of life, damage to buildings, lost productivity, disruption in utilities and transportation systems, and reduced property values. Some structures in Scott County are built



close to riverbanks and are susceptible to mudslides. The Table below estimates the loss resulting from a mudslide or landslide involving riverbank structures

Table 6.22 Scott County Landslide/Mudslide Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.01%	\$4,359,690,954		0.1%	\$5,231,629	
2,631	Commercial/Ind	\$1,101,908,900		0.02%	\$440,763,560		0.1%	\$661,145	
150	Government/NP	\$810,715,455		0.00%	\$243,214,637		0.0%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0.01	\$50	\$18,078		0.01	\$200	\$72,310	\$90,388
2,631	Commercial/Ind	0.001	\$7,000	\$18,417		0	\$1,000	\$2,631	\$21,048
150	Government/NP	0	\$5,000	\$0		0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
79	158	\$4,734		\$112	39	\$4,344	\$471,422	\$480,500	
Total Disaster Costs								\$6,484,710	

Scott County is susceptible to land subsidence in the form of sinkholes. The future probability of an event is low and the vulnerability is low. As population and structure density increases the vulnerability may increase. There are no reported instances of Land Subsidence or sinkholes in Scott County

Table 6.22 Scott County Land Subsidence Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.01%	\$4,359,690,954		0.0%	\$871,938	
2,631	Commercial/Ind	\$1,101,908,900		0.00%	\$440,763,560		0.0%	\$11,019	
150	Government/NP	\$810,715,455		0.00%	\$243,214,637		0.0%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0.01	\$50	\$18,078		0.01	\$200	\$72,310	\$90,388
2,631	Commercial/Ind	0.001	\$7,000	\$18,417		0	\$1,000	\$2,631	\$21,048
150	Government/NP	0	\$5,000	\$0		0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
59	118	\$3,534		\$112	4	\$434	\$70,637	\$74,605	
Total Disaster Costs								\$1,068,998	

Lightning can damage a structure of any type but is most damaging when a fire is started in a wooden structure or to, a lesser extent, commercial or public structures. Electrical infrastructure is also subject to significant damage from a lightning strike. There could also be some amount of function and use loss as some structures would be un-useable due to repairs. Loss of life may occur directly as a result of a lightning strike or from a secondary effect such as fires.



Table 6.22 Scott County Lightning Hazard Loss								
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss
36,155	Residential	\$8,719,381,907		0.01%	\$4,359,690,954		0.0%	\$871,938
2,631	Commercial/Ind	\$1,101,908,900		0.01%	\$440,763,560		0.0%	\$110,191
150	Government/NP	\$810,715,455		0.01%	\$243,214,637		0.0%	\$81,072
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	1	\$50	\$1,807,750	0.2	\$200	\$1,446,200	\$3,253,950
2,631	Commercial/Ind	0	\$7,000	\$0	0	\$1,000	\$0	\$0
150	Government/NP	0	\$5,000	\$0	0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
69	138	\$4,147	\$112	389	\$43,608	\$85,056	\$132,812	
Total Disaster Costs							\$4,449,962	

Wildland Fires are most destructive against wooden structures or brick structures with wood cores. However concrete structures can be severely damaged should the fire burn the roof or the heat breaks windows allowing the flames to enter a normally “fire resistant” structure. Wildland fires can also damage electrical infrastructure by causing trees to fall across power lines. Because the Wildland fires location would be in an “urban interface area”, which would be on the perimeter of the city, a significantly smaller number of structures would be impacted. There may be some function and use loss as a wild fire would probably damage or destroy some structures making them unusable during repairs or rebuilding. Loss of life and injuries could also occur among citizens and firefighters.

Table 6.22 Scott County Wildfire Hazard Loss								
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss
36,155	Residential	\$8,719,381,907		0.05%	\$4,359,690,954		0.0%	\$4,359,691
2,631	Commercial/Ind	\$1,101,908,900		0.01%	\$440,763,560		0.0%	\$110,191
150	Government/NP	\$810,715,455		0.01%	\$243,214,637		0.0%	\$81,072
Qty	Structure Type	Days Down	Daily Budget	Function Loss	Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	1	\$50	\$1,807,750	0.3	\$200	\$2,169,300	\$3,977,050
2,631	Commercial/Ind	0	\$7,000	\$0	0	\$1,000	\$0	\$0
150	Government/NP	0	\$5,000	\$0	0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
301	15,026	\$306,524	\$112	389	\$43,608	\$2,275,477	\$2,625,609	
Total Disaster Costs							\$11,153,613	

Illegal Meth Labs has been identified by law enforcement as the number one drug threat in Minnesota. The cooking process itself and the waste that results from the manufacture of meth pose significant public health and safety risks. Methamphetamine recipes rely on the use of volatile organic compounds, explosives, acids, bases, metals, solvents, and salts. These ingredients have the potential for explosions. The cooking process distributes these toxic



chemicals throughout a structure resulting contamination that may require demolition of the structure

Table 6.22 Scott County Illegal Drug Lab Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.01%	\$4,359,690,954		0.0%	\$871,938	
2,631	Commercial/Ind	\$1,101,908,900		0.00%	\$440,763,560		0.0%	\$0	
150	Government/NP	\$810,715,455		0.00%	\$243,214,637		0.0%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0	\$50	\$0		0	\$200	\$0	\$0
2,631	Commercial/Ind	0	\$7,000	\$0		0	\$1,000	\$0	\$0
150	Government/NP	0	\$5,000	\$0		0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
58	116	\$3,471		\$112	0	\$0	\$17,439	\$20,910	
Total Disaster Costs								\$892,848	

HAZMAT events can be one of the most significant hazard event that can impact a community. Depending on the chemical and/or radiological instrument and the amount released or spilled the affect could be loss of thousands of lives and direct property loss from an associated explosion or indirect property loss from contamination. An event from a fixed facility could impact many communities and a transportation (roadway or railway) event could impact any community equally in the county.

Table 6.22 Scott County Hazmat Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		1.00%	\$4,359,690,954		0.2%	\$95,913,201	
2,631	Commercial/Ind	\$1,101,908,900		1.00%	\$440,763,560		0.2%	\$11,900,616	
150	Government/NP	\$810,715,455		1.00%	\$243,214,637		0.2%	\$8,593,584	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	1	\$50	\$1,807,750		1	\$200	\$7,231,000	\$9,038,750
2,631	Commercial/Ind	1	\$7,000	\$18,417,000		0	\$1,000	\$0	\$18,417,000
150	Government/NP	1	\$5,000	\$750,000		0	\$500	\$0	\$750,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
6,912	345,610	\$7,050,444		\$112	38,936	\$4,360,832	\$10,476,666	\$21,887,942	
Total Disaster Costs								\$166,501,093	

Pandemic events can result in the loss of thousands of lives and have a long lasting economic impact to all communities in the planning area. There would be little impact to structures. The exception may be an increase in damage from structure fires resulting from fewer fire service resources.



Table 6.22 Scott County Pandemic Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.05%	\$4,359,690,954		0.1%	\$8,719,382	
2,631	Commercial/Ind	\$1,101,908,900		0.05%	\$440,763,560		0.1%	\$991,718	
150	Government/NP	\$810,715,455		0.05%	\$243,214,637		0.1%	\$648,572	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0	\$50	\$0		0	\$200	\$0	\$0
2,631	Commercial/Ind	1	\$7,000	\$18,417,000		0	\$1,000	\$0	\$18,417,000
150	Government/NP	1	\$5,000	\$750,000		0	\$500	\$0	\$750,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
1,728	17,281	\$380,171		\$112	100,120	\$11,213,440	\$9,323,705	\$20,917,316	
Total Disaster Costs								\$50,443,988	

Terrorism events can result in significant loss of life and damage to structures in any community in the planning area. Major or complete damage of a single structure could result from a terrorist bomb (domestic or International) with some collateral damage to structures nearby. Structure usability could result from chemical or radiological contamination.

Table 6.22 Scott County Terrorism Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.00%	\$4,359,690,954		0.0%	\$0	
2,631	Commercial/Ind	\$1,101,908,900		0.00%	\$440,763,560		0.0%	\$0	
150	Government/NP	\$810,715,455		1.00%	\$243,214,637		0.5%	\$9,323,228	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0	\$50	\$0		0	\$200	\$0	\$0
2,631	Commercial/Ind	0	\$7,000	\$0		0	\$1,000	\$0	\$0
150	Government/NP	10	\$5,000	\$7,500,000		180	\$500	\$13,500,000	\$21,000,000
Soil Cu Yards	Demolition Cu Yards	Debris Cost		Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs	
375	7,500	\$157,500		\$112	1,500	\$168,000	\$932,323	\$1,257,823	
Total Disaster Costs								\$31,581,051	



Urban Fire events may result in some loss of life and significant or complete damage to a structure or a group of structures in close proximity. The table below estimates the loss of a large business in a community.

Table 6.22 Scott County Urban Fire Hazard Loss									
Qty	Structure Type	Structure Value		Loss %	Content Value		Loss%	Struc/Cont Loss	
36,155	Residential	\$8,719,381,907		0.00%	\$4,359,690,954		0.0%	\$0	
2,631	Commercial/Ind	\$1,101,908,900		0.70%	\$440,763,560		0.5%	\$9,917,180	
150	Government/NP	\$810,715,455		0.00%	\$243,214,637		0.0%	\$0	
Qty	Structure Type	Days Down	Daily Budget	Function Loss		Days Disp	Daily Cost	Usage Loss	Func/Use Loss
36,155	Residential	0	\$50	\$0		0	\$200	\$0	\$0
2,631	Commercial/Ind	10	\$7,000	\$184,170,000		60	\$1,000	\$157,860,000	\$342,030,000
150	Government/NP		\$5,000	\$0		0	\$500	\$0	\$0
Soil Cu Yards	Demolition Cu Yards	Debris Cost	Daily Wage	Wage Days Lost	Wages Lost	Response Costs	Related Costs		
737	7,367	\$162,070	\$112	157,860	\$17,680,320	\$991,718	\$18,834,108		
Total Disaster Costs							\$370,781,288		

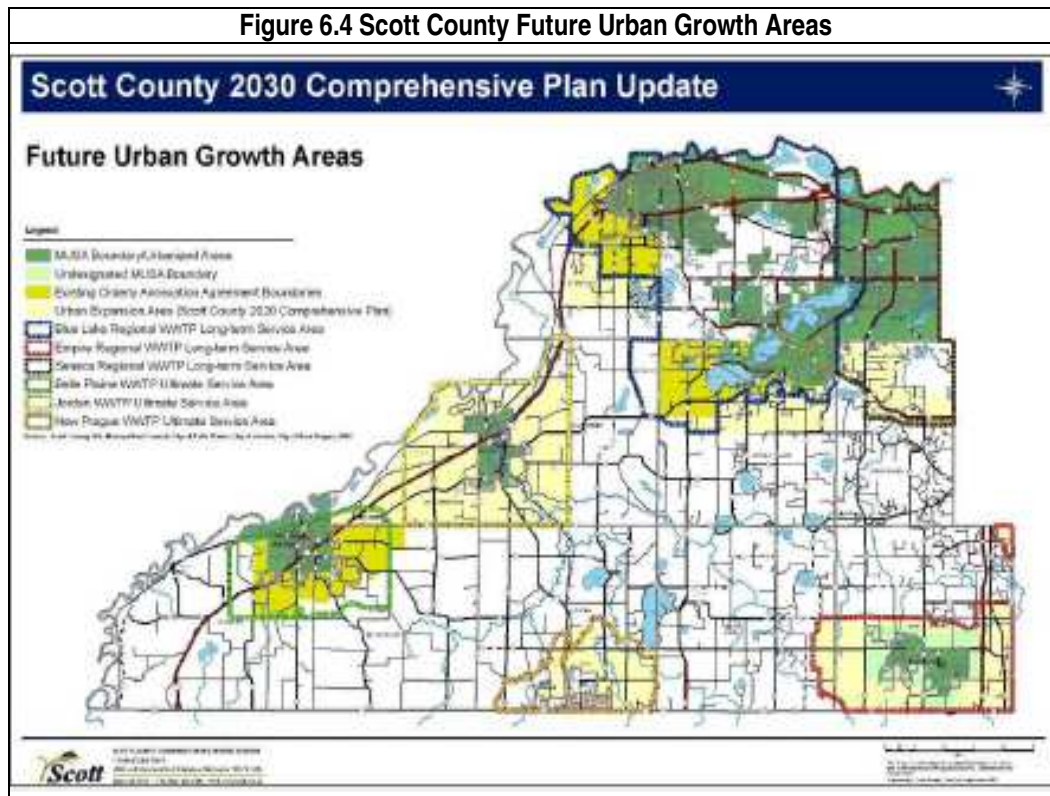
6.5 ASSESSING VULNERABILITY: ANALYZING DEVELOPMENT TRENDS

In residential development trends, Scott County experienced a housing boom in the early 2000s. From May 2001 (when the development moratorium was lifted in the eleven townships) through 2006, the County approved nearly 1,000 lots and issued 1,200 building permits for new homes in the unincorporated area. The County absorbed the bulk of this recent growth, with most new lots or homes created in Credit River, Cedar Lake, and New Market townships. New residential development remained steady in the cities, with Shakopee and Prior Lake seeing most of the new growth. In 2003 and 2004, these two cities were among the fastest growing communities in the Twin Cities metropolitan area. In late 2006 and 2007, residential development slowed with the downturn in the housing market. Since 2001, the County has encouraged cluster developments in designated rural residential and urban expansion areas to preserve future development options for larger outlots or parcels.

Requirement §201.6(c)(2)(ii)(C): The plan should describe vulnerability in terms of providing a general description of land uses and development trends within the community so that mitigation options can be considered in future land use decisions.

A. Does the new or updated plan describe land uses and development trends?

CRS Step 5: Assess the Problem: The CRS gives credit for a description of the development, redevelopment, and population trends as well as a discussion of what the future brings for development in the community. This is optional.



For Non-Residential Development Trends, over a 10-year period (May 1995 to May 2005), the County issued 227 conditional use permits

(CUPs) and 39 interim use permits (IUPs), primarily for non-residential land uses. Of the 227 CUPs, 38 permits were issued for home extended businesses such as cabinet shops, food catering, and small engine repair. Most of the IUPs were issued for gravel mining operations.

According to a 2005 inventory of commercially zoned property in the eleven townships, there are approximately 450 acres zoned C-1 for general commercial uses; 2,820 acres zoned I-1 for rural industrial uses; and nearly 1,600 acres zoned UBR (Urban Business Reserve) intended for future commercial development connected to and served by urban services. Most of the commercially zoned properties are located along the TH 169 corridor in Sand Creek, Louisville, and Jackson townships. Spring Lake and New Market townships also have areas of commercially zoned properties at major roadway intersections.

The cities of Shakopee and Prior Lake are expected to see the greatest demand for commercial land development during this time frame. The eleven townships (particularly Jackson, Louisville, Sand Creek, Spring Lake, and New Market) have abundant supplies of commercial land. There is a demand for commercial development in the unincorporated areas, especially along TH 169 (Jackson and Louisville) and Interstate 35 (New Market), due to the lower cost of land and limited infrastructure costs in the unincorporated areas. However, much of the demand for commercial and industrial land in the townships may be related to the future demands of nearby cities as their boundaries and utilities are extended.

The primary sector of the county's industrial market (including all cities) is warehouse/bulk distribution/showroom space. The office market in Scott County is not particularly established compared to other metro counties.

FUTURE LAND USE

To guide future land use development decisions, as well as provide the standards and principles for updating the County's zoning ordinance and other official development controls. Land Use identifies four broad designations agricultural, urban, rural, and commercial—with nine planned land use sub-categories along with lakes, rivers and streams, roads, public lands, hamlet/town centers, and municipalities. The following is a definition of each major planned land use category and a description of the corresponding zoning district(s) that can implement each category.

Agricultural Planning Designation

The agricultural designation includes a two-tiered approach to mapping and identifying areas for long-term farming and agricultural uses. Tier 1 (Agricultural Preservation Area) is guided for long-term farming activities. Tier 2 (Agricultural Transition Area) is guided for interim agricultural uses prior to urban densities beyond the 2030-planning horizon. Both tiers allow for low-density residential development, but require the majority of land be preserved for long-term farmland or future urban development.



Agricultural Preservation Area

The purpose of this planning category is to protect and preserve agricultural uses and the economic viability of farming operations by limiting residential development to very low densities.

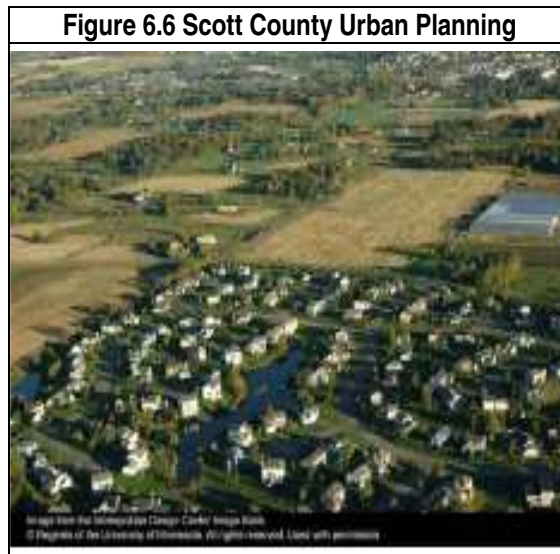
Typical Uses include larger-scale farms and related agricultural uses including feedlots and livestock raising; small-parcel farms for local food production; single-family detached dwellings; institutional uses; and limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies). The existing County zoning districts most compatible with this plan category include Agricultural Preservation (A-1) and Agricultural Preservation Density (A-3).

Agricultural Transition Area

The purpose of this planning category is to protect agricultural uses as an interim land use before eventual urbanization occurs beyond the 2030-planning horizon. Typical Uses include larger-scale farms and related agricultural uses including feedlots and livestock raising; small-parcel farms for local food production; single-family detached dwellings; institutional uses; and limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies). The existing County zoning districts compatible with this plan category include Agricultural Preservation (A-1) and Agricultural Preservation Density (A-3).

Urban Planning Designation

The urban designation includes a two-tiered approach to mapping and identifying future urban growth areas. Tier 1 (Urban Expansion Area) is guided for eventual urban densities and mapped consistent with each city's long-range sanitary sewer service area. Tier 2 (Urban Transition Area) is guided for interim agricultural and rural uses prior to urban densities beyond the 2030-planning horizon and mapped within the long-range sanitary sewer service area for a future regional wastewater treatment plant to serve western and central Scott County. Both tiers allow for interim residential development prior to urbanization, but require the majority of land be preserved for future urban development.



Urban Expansion Area

The purpose of this planning category is to preserve areas around cities for future urban expansion and development. The boundaries of the urban expansion areas reflect each city's long-range sanitary sewer service plans based on known capacities of existing regional or local treatment facilities. Typical Uses include larger-scale farms and related agricultural uses; small-parcel farms for local food production; single-family detached dwellings; cluster residential developments; institutional uses; and limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies). The existing County zoning districts most compatible with this plan category include Urban Expansion Reserve (UER), Urban Expansion Reserve Cluster (UERC), Agricultural Preservation (A-1), and



Agricultural Preservation Density (A-3). Other existing zoning districts, such as Rural Residential Single Family (RR-2) and Rural Residential Suburban Single Family (RR-3), could be applied on a limited basis in this plan category but only for existing conditions.

Urban Transition Area

The purpose of this planning category is to reserve areas for future urban development beyond the 2030-planning horizon when planned regional sanitary sewer service capacity is increased to serve western and central Scott County. The boundaries of the urban transition area reflect the long-range sanitary sewer service area for the future regional wastewater treatment plant. Typical uses include larger-scale farms and related agricultural uses; small-parcel farms for local food production; single-family detached dwellings; cluster residential developments; institutional uses; and limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies) A new zoning district that reflects the recommended base and cluster density options, lot sizes, and typical uses is needed to implement this plan category. Other existing zoning districts, such as Agricultural Preservation (A-1), Agricultural Woodlands (A- 2), Agricultural Preservation Density (A-3), Rural Residential Reserve (RR-1), Rural Residential Single Family (RR-2), and Rural Residential Suburban Single Family (RR-3) could be applied on a limited basis in this plan category but only for existing conditions.

Rural Planning Designation

The rural designation includes a two-tiered approach to mapping and identifying areas for long-term rural uses that are not planned to be served by regional or municipal public sanitary sewer service. Tier 1 (Rural Residential Growth Area) is guided for long-term rural residential densities and lot sizes at 2½-acres or smaller. The Rural Residential Growth Staged Area will be guided for these densities after the completion of a detailed planning study. Tier 2 (Rural Residential Reserve Area) is guided for long-term rural residential densities and lot sizes ranging up to 10 acres in size. Both tiers provide a range of residential densities, housing opportunities, lot sizes, and related compatible uses in areas that are not planned for urban services.

Rural Residential Reserve Area

The purpose of this planning category is to reserve land for additional rural residential development when the necessary infrastructure has been planned and, in some cases, developed. Typical Uses include Single-family detached dwellings; small-parcel farms for local food production; cluster residential developments; institutional uses; limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies); and smaller-scale agricultural and related uses. The existing County zoning districts most compatible with this plan category are Rural Residential Reserve (RR-1) and Rural Residential Reserve Cluster (RR-1C). Other existing zoning districts, such as Rural Residential Single Family (RR-2) and Rural Residential Suburban Single Family (RR-3), could be applied on a limited basis in this plan category but only for existing conditions.

Rural Residential Growth Area

The purpose of this planning category is to promote reasonable residential growth in those areas where infrastructure and similar growth patterns exist. This area will likely never be served by a regional or municipal sanitary sewer system. Therefore, policies in this category encourage the use of individual or community sewer and water supply systems and the tight cluster concept to encourage the sense of rural community. Typical Uses include Single-family detached dwellings;

cluster residential developments; institutional uses; limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies). The existing County zoning district most compatible with this plan category is Rural Residential Single Family (RR-2). Other existing zoning districts, such as Rural Residential Suburban Single Family (RR-3), could be applied on a limited basis in this plan category but only for existing conditions.

Commercial Planning Designation

The commercial designation provides land use categories for commercial and industrial development, as well as areas to be reserved for future commercial development.

Commercial/Industrial Area

The purpose of this planning category is to provide areas for commercial and industrial development in the unincorporated areas to expand the local tax base and allow for economic development. This category is intended to provide land for uses with limited traffic and water usage, outdoor storage, and other uses that may not be appropriate in the urbanized areas. New development will be allowed provided all necessary infrastructure (septic, storm water treatment, interconnected road system, public safety, etc.) is available. Typical Uses include general commercial and retail uses; contractor yards; warehousing; offices; manufacturing and processing; outdoor sales and display uses; agricultural and related uses. The existing County zoning districts most compatible with this plan category include the General Commercial (C-1) and Rural Industrial (I-1) districts. New zoning districts may be needed to implement this category if more detailed commercial corridor studies identify a need for customized use and/or performance standards.



Commercial/Industrial Reserve Area

The purpose of this planning category is to reserve land for future commercial and/or industrial development with urban services. The land will be limited to residential development at a very low density until urban services are provided. Typical Uses include agricultural and related uses; single family detached dwellings. The existing County zoning district most compatible with this plan category is Urban Business Reserve (UBR).

ROADWAYS

The existing roadway system reflects the concentration of urban development in the north. This area has the greatest concentration of roads and highest traffic volumes. TH 169 frames the western and northern border of the county and I-35 borders a portion of the eastern part of the county. The County highways resemble a grid pattern throughout the county connecting the cities to one another. The Minnesota River is a barrier between neighboring counties with limited access across it. Because of the transportation constraints caused by the Minnesota River, river crossings are a significant component of the highway system for Scott County.

Roadway Planned and Programmed Improvements

State Highways



The Metro District of the Minnesota Department of Transportation (Mn/DOT) oversees the maintenance and construction of state-owned roadways in Scott County, with the exception of TH 19, which is managed by Mn/DOT Districts 6 and 7. There are no current construction plans for projects on any existing State Highways within Scott County in Mn/DOT's 2008-2030 Transportation System Plan.

County Highways

Every year, the Scott County Board of Commissioners approves a Transportation Improvement Program (TIP) for the construction of new roadways and the improvement of existing roads on the County system.

WATER RESOURCE INVENTORY

It is essential to understand the location of environmentally sensitive areas to make responsible land use-, transportation-, and utility-related decisions. This will prevent severe developmental and environmental problems that may be difficult and costly to correct in the future. The following goals and policies are largely paraphrased from the goals and policies in Scott County's approved Water Resources Plan, as adopted May 2006 and amended December 2007. Goal #VIII-1 Manage the quantity and improve the quality of Stormwater runoff from new development entering rivers, streams, lakes, wetlands, and groundwater within the unincorporated areas of Scott County.

- Each development or land disturbing activity shall be responsible for managing its Stormwater effectively, either on- or off-site.
- Promote and encourage a reduction in runoff rates, encourage infiltration, and promote increased groundwater recharge.
- Stormwater will be managed to minimize erosion, with an emphasis on stabilizing flow rates and velocities and prioritizing critical areas based on the landscape setting and existing vegetation.
- Promote development strategies, land use practices, and water management activities that decrease and desynchronize peak flows, lengthen the watershed time of concentration, and raise base flow levels.

Goal #VIII-6 Protect human life, property, and surface water systems that could be damaged by flood events.

- Manage local floodplain areas to maintain critical 100-year flood storage volumes.
- Ensure that on-site or downstream detention basins are designed adequately and prevent runoff from developed areas from negatively impacting new or existing detention basins.
- Update floodplain zoning regulations to maintain consistency with the Scott WMO's and other Watershed Organization's Comprehensive Water Resource Management Plans.
- Require that new structures (i.e., buildings and other structures that could be flow obstructions) be constructed above the flood-prone areas to avoid causing an increase in the critical flood levels that could affect both the new construction and nearby structures.
- Support enhanced data sources, including updated Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM).



6.6 MULTI-JURISDICTIONAL RISK ASSESSMENT

This multi-jurisdictional plan presents information for the general planning area as a whole. However, some hazards and associated losses occur in only part of the county. In some instances individual municipalities in Scott County have specific vulnerabilities to hazards that differ from the countywide vulnerabilities. This differentiation exists due to factors such as geographic location, topography, geologic differences, and proximity to hazards.

In addition to this summary section, within the discussion of each hazard in the profiles section, there is narrative identifying the specific municipalities or areas of the county that have been affected by hazards, the extent of impact and the probability of future occurrence in Scott County. The table below summarizes each jurisdiction's specific vulnerability to each identified hazard.

Requirement §201.6(c)(2)(iii): For multi-jurisdictional plans, the risk assessment must assess each jurisdiction's risks where they vary from the risks facing the entire planning area.

A. Does the new or updated plan include a risk assessment for each participating jurisdiction as needed to reflect unique or varied risks?

CRS Step 4. Assess the Hazard & Step 5: Assess the Problem: For multi-jurisdictional plans, the risk assessment must assess each jurisdiction's risks where they vary from the risks facing the entire planning area

Table 6.28 Likelihood Of Potential Hazard Incident Occurring

	Drought	Earthquake	Extreme Temperature	Flooding	Hail	High Winds	Ice/Snow	Landslides Mudslides Land Subsidence	Lightning	Wildfires	Hazmat	Pandemic	Terrorism	Urban Fire	Likelihood	
Scott County	1	1	3	3	3	3	3	1	1	3	2	3	1	1	3	32
Belle Plaine	1	1	3	3	3	3	3	2	1	3	1	3	1	2	3	33
Belle Plaine Twp	1	1	3	2	3	3	3	1	1	3	2	2	1	1	2	29
Blakeley Twp	1	1	3	3	3	3	3	2	1	3	2	2	1	1	1	30
Cedar Lake Twp	1	1	3	2	3	3	3	1	1	3	2	1	1	1	1	27
Credit River Twp	1	1	3	2	3	3	3	2	1	3	2	1	1	1	1	28
Elko-New Market	1	1	3	2	3	3	3	1	1	3	1	2	1	1	3	29
Helena Twp	1	1	3	2	3	3	3	1	1	3	2	2	1	1	1	28
Jackson Twp	1	1	3	3	3	3	3	2	1	3	1	2	1	1	1	29
Jordan	1	1	3	3	3	3	3	2	1	3	1	2	1	2	3	32
Louisville Twp	1	1	3	3	3	3	3	2	1	3	1	2	1	1	1	29
M Sioux Tribe	1	1	3	3	3	3	3	1	1	3	1	1	1	2	2	29
New Market Twp	1	1	3	1	3	3	3	1	1	3	2	1	1	1	3	28
New Prague	1	1	3	2	3	3	3	1	1	3	2	2	1	2	3	31
Prior Lake	1	1	3	2	3	3	1	1	1	3	1	2	1	2	3	28
St Lawrence Twp	1	1	3	3	3	3	3	2	1	3	2	1	1	1	1	29
Sand Creek Twp	1	1	3	2	3	3	3	1	1	3	2	1	1	1	1	27
Savage	1	1	3	3	3	3	3	2	1	3	1	2	1	2	3	32
Shakopee	1	1	3	3	3	3	3	2	1	3	1	2	1	2	3	32
Spring Lake Twp	1	1	3	1	3	3	3	1	1	3	2	1	1	1	1	26

Likelihood of occurrence in any single year. Very Likely=3, Likely=2, Possible=1, 32-45 total likelihood of hazard occurrence is high, 17-31 total likelihood of hazard occurrence is medium, 0-16 total likelihood of hazard occurrence is low



In addition to differing levels of vulnerability to identified hazards; individual municipalities can also suffer significant differences in losses resulting from the impact and extent of a disaster. Generally these losses are a direct result of population density, commercial development, or housing density and/or value. Within the discussion of each hazard profile, the narrative identifies those municipalities and specific areas of the county that have increased vulnerability and impact to that hazard and notes the factors contributing to an increased impact or vulnerability. The table below depicts the differing aspects of estimated losses by jurisdiction.

Table 6.29 Impact Of Potential Hazard Incident																	
	Drought	Earthquake	Extreme Temperature	Flooding	Hail	High Winds	Ice/Snow	Landslides	Mudslides	Land Subsidence	Lightning	Wildfires	Hazmat	Pandemic	Terrorism	Urban Fire	Likelihood
Scott County	2	1	1	2	1	3	2	1	1	1	1	2	2	2	2	2	25
Belle Plaine	1	2	1	3	1	3	2	1	1	2	1	3	3	3	3	3	30
Belle Plaine Twp	1	1	1	2	1	2	1	1	1	1	1	1	2	2	2	2	21
Blakeley Twp	1	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	16
Cedar Lake Twp	2	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	17
Credit River Twp	2	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	17
Elko-New Market	1	2	1	1	1	2	2	1	1	1	1	2	2	2	2	2	23
Helena Twp	1	1	1	1	1	1	1	1	1	1	1	2	2	1	1	1	17
Jackson Twp	1	1	1	2	1	1	1	1	1	1	1	1	2	1	1	2	18
Jordan	1	2	1	3	1	3	2	1	1	2	1	2	2	2	3	3	28
Louisville Twp	1	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	16
M Sioux Tribe	1	2	1	3	1	3	3	1	1	2	1	2	2	2	3	3	29
New Market Twp	2	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	17
New Prague	1	2	1	2	1	3	2	1	1	2	2	2	2	3	3	3	29
Prior Lake	1	2	1	2	1	3	3	1	1	2	1	2	3	3	3	3	29
St Lawrence Twp	2	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	17
Sand Creek Twp	2	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	17
Savage	1	2	1	3	1	3	3	1	1	2	1	3	3	3	3	3	31
Shakopee	1	2	1	3	1	3	3	1	1	2	1	3	3	3	3	3	31
Spring Lake Twp	2	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	17

3 = High – Significant and lasting destructive effect on lives or property
 2 = Medium – Moderate destructive effect on lives or property; recovery is takes time and is moderately expensive
 1 = Low -Lower magnitude of destructive effect on lives or property; recovery is accomplished in a reasonable period of time and is low cost
 32-45-Impact of all hazards is high, 18-31impact of all hazards is medium, 0-18-Impact of all hazards is low