



# COMMUNITY DEVELOPMENT DIVISION

## Building Inspections Department

GOVERNMENT CENTER • 200 FOURTH AVENUE WEST • SHAKOPEE, MN 55379-1220  
(952) 496-8475 • Fax (952) 496-8496 • Web <http://www.co.scott.mn.us>

## RESIDENTIAL GARAGES

### ATTENTION CONTRACTORS & HOMEOWNERS

The following items **MUST BE SUBMITTED** before your building permit application can be processed. The information submitted must be complete and accurate.

Items Required:	
1.	A signed Building Permit Application from your Township or City Clerk
2.	Two folded sets of building plans drawn to scale (cross section, elevations, floor plan)
3.	Two sets of energy/mechanical code compliance forms (if applicable)
4.	Driveway permit required for access from State, County, or TWP roads
5.	Two plot plans (for lots ten acres or more) or certificates of survey (for lots under 10 acres)
6.	One set of Alternate Erosion and Sediment Control Plans with Notes (not applicable for City of Elko)
7.	Written description or drawing of environmental health concerns

### GENERAL INFORMATION

**BUILDING PERMIT APPLICATION FORM:** Must be obtained from and signed by your township/city clerk. Provide state contractor's license number.

**AREA AND HEIGHT:** Detached garages, buildings and additional accessory structures, individual and combined shall be subject to the maximums listed in the following table.

**Exception** – Existing or proposed agricultural buildings currently used to agricultural purposes, as verified by the Planning & Zoning Department.

**PLOT PLAN:** Provide an updated plot plan of your property showing all property lines, existing buildings and dimensions, setbacks, wells, septic tank and drainfield locations, and proposed garage location with setbacks. (New footings and foundations must be a minimum

of 10' from septic tanks and a minimum of 20' from drainfields.) A sample plot plan is available from Scott County Planning Dept.

**TWO SETS OF PLANS** showing:

- Section view (side, cutaway drawing) showing footing depth, width and thickness, floor type, wall height, framing, sheathing, siding, roofing, and roof pitch (see example).
- Elevation drawings of front and sides showing how finished garage will look (see example).
- Floor plan: indicate on the floor plan length and width of garage, location of doors, windows, interior walls, headers, plumbing and heating fixtures. **If it is an attached garage, show the floor plan of the existing adjacent rooms.**

**Permit Approval**

Building and sewer permits will not be issued, and work should not begin, until ALL permits have been approved by the Planning, Inspections, Environmental Health, and Natural Resources departments. Failure to provide all of the information requested above will delay or prevent permit approval. After a preliminary review, **ADDITIONAL INFORMATION MAY BE REQUIRED**. After we have received all of the items listed above, please allow 10-15 working days for your building permit application to be processed.

**Attached Garages:** All garages attached to the house must have a minimum of 42" frost footing. The roof must be designed to support a minimum 35 pound per square foot **live** snow load.

**Detached Garages:** Detached garages may be built on an approved floating slab or a 42" frost footing. Roofs must be designed to withstand a minimum 35 pound per square foot **live** snow load. The size of the detached garage may be restricted. For information contact Scott County Planning Dept.

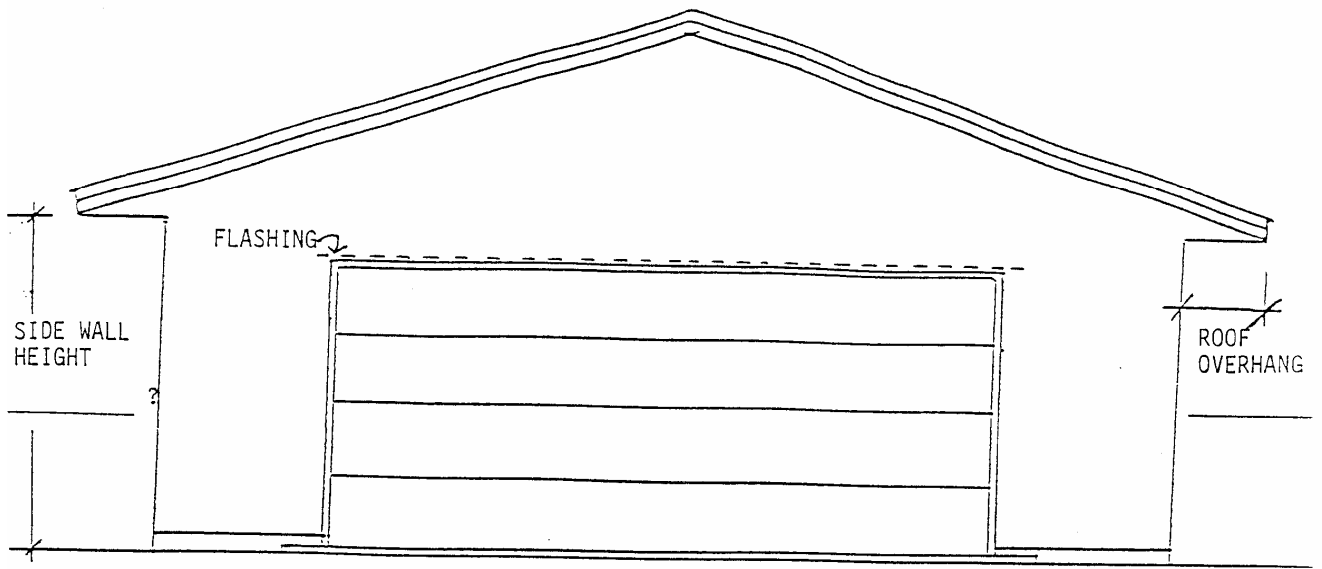
**Required inspections:**

1. Footing before concrete is poured.
2. Framing (includes rough-in mechanical and plumbing work).
3. Final inspection when all work is completed.
4. Additional inspections as needed.

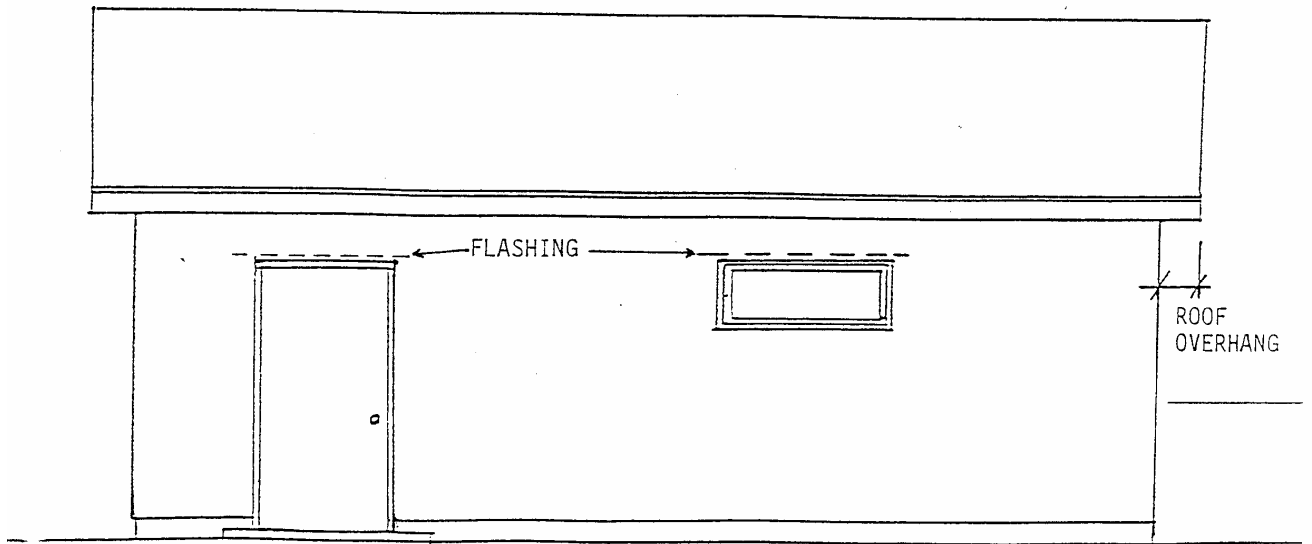
**ELECTRICAL:** Electrical wiring must be approved by the state electrical inspector. Your Building Permit does not include the State Electrical Permit or Electrical Inspection. For permit and inspection requirements, please call between 7:00-8:30 a.m.:

For <b>Credit River/Spring Lake</b> Townships:	Walt Lusian	(952) 934-0229
For <b>New Market/Cedar Lake/Helena</b>	Randy Edel	(507) 334-3748
For all other townships:	Terry Krominga	(507-665-3205)

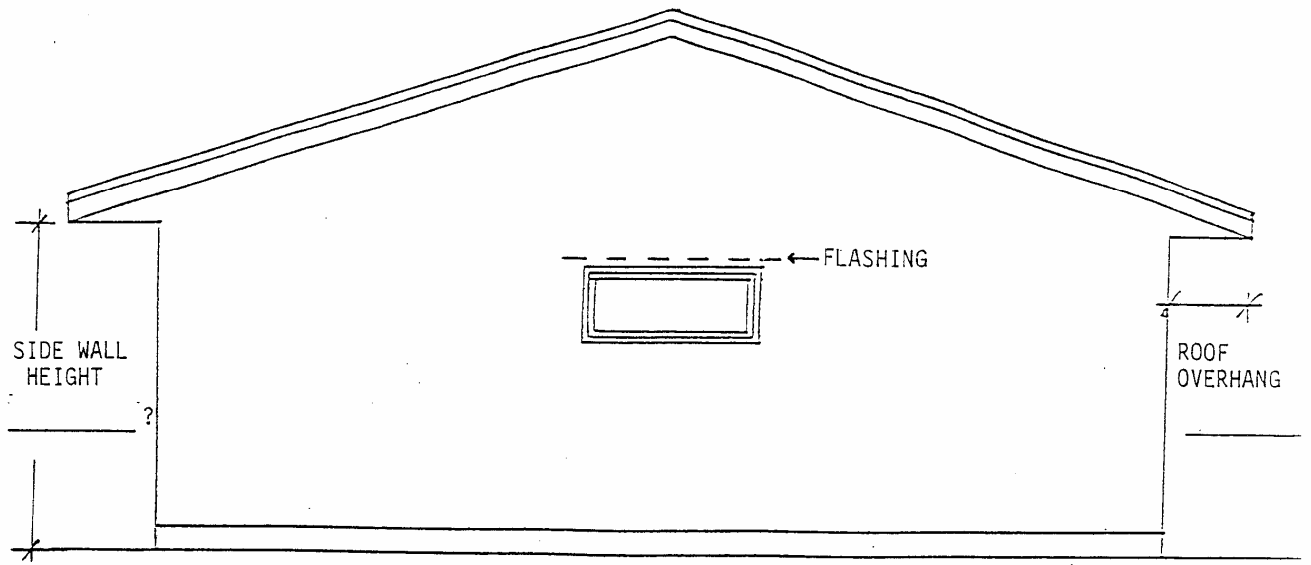
Any questions, please call Scott County Community Development at 952-496-8475.



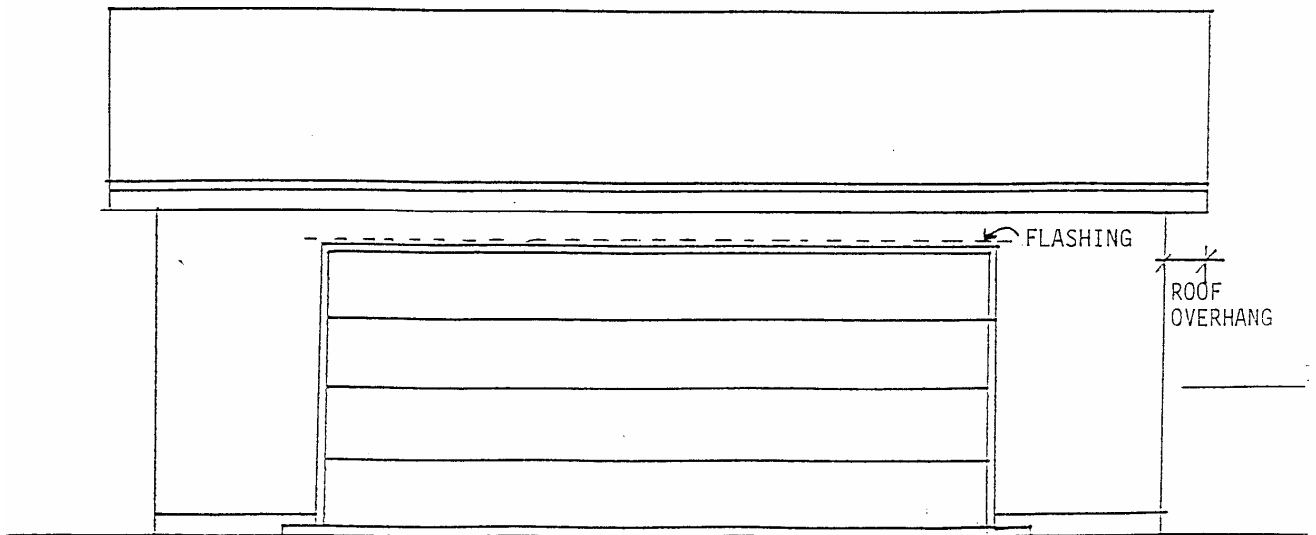
Front Elevation  $\frac{1}{4}'' = 1' - 0''$



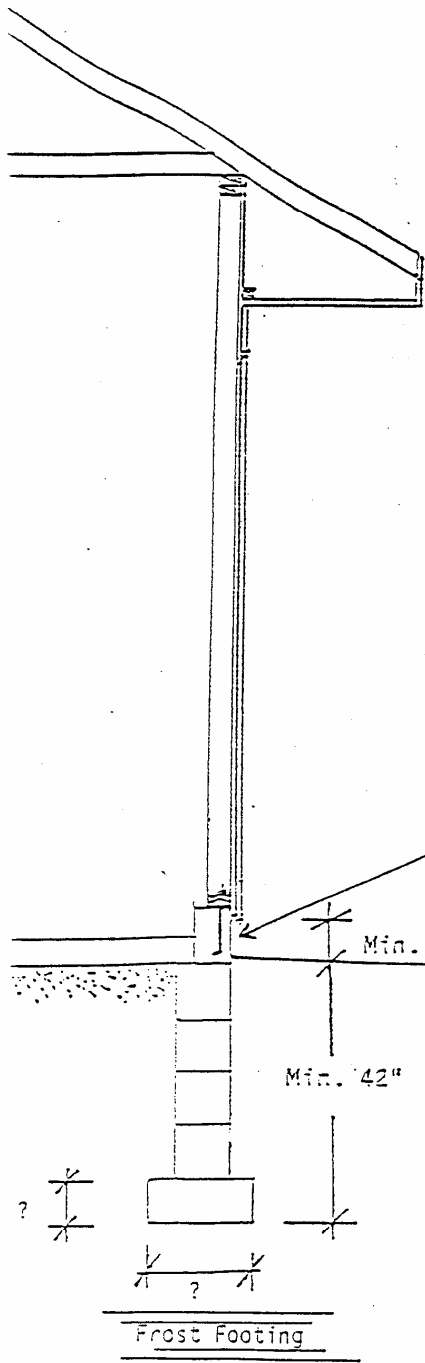
Side Elevation  $\frac{1}{4}'' = 1' - 0''$



Side Elevation  $\frac{1}{4}'' = 1'-0''$



Front Elevation  $\frac{1}{4}'' = 1'-0''$



SHINGLES - Verify material and weight

ROOF SHEATHING - Verify size and type

RAFTERS OR TRUSSES - Verify size and spacing

Verify roof pitch

SIDING - Verify size and type

SHEATHING - Verify size and type

STUDS - Verify size and spacing

INSULATION - Verify R value

Approved treated or naturally moisture - resistant sill plate

Anchor bolts min. 1/2" diameter, 7" embedment, 6' o.c. max. 6' spacing and 12" from ends.

Minimum block size 6"

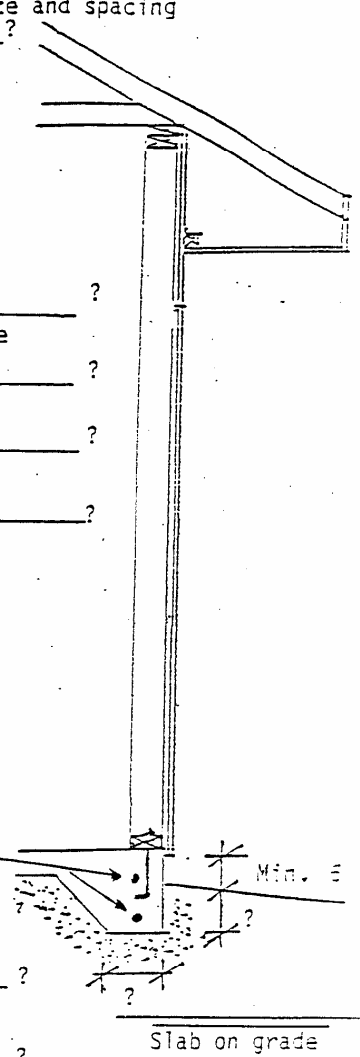
Minimum 2 #4 bars

Concrete Slab - Verify size & strength

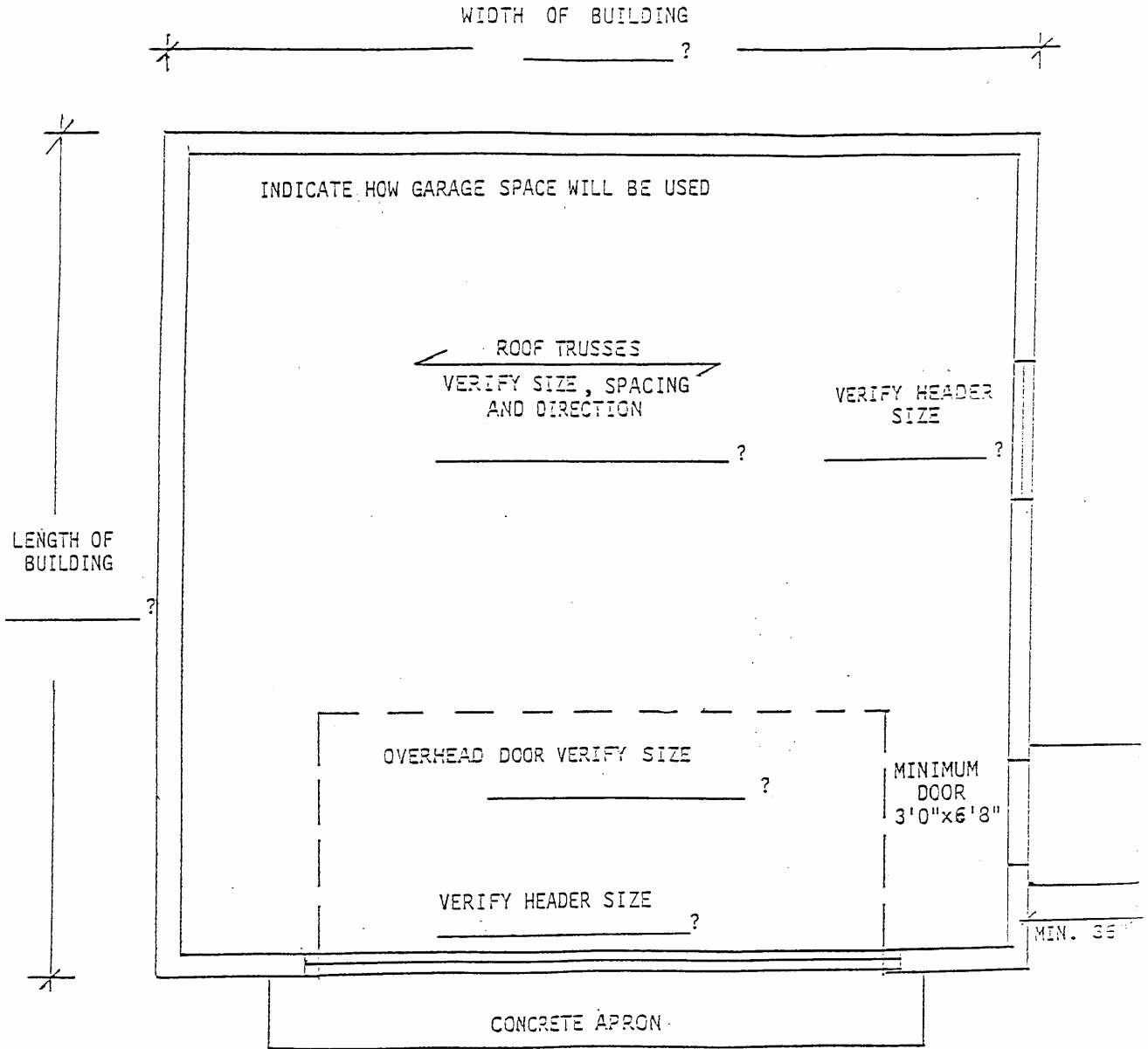
Slab Reinforcing - Verify size & type

Fill - Verify type & thickness

Footing - Rebar - Verify size & quantity



GARAGE



FLOOR PLAN  $\frac{1}{4}$ " = 1' 0"